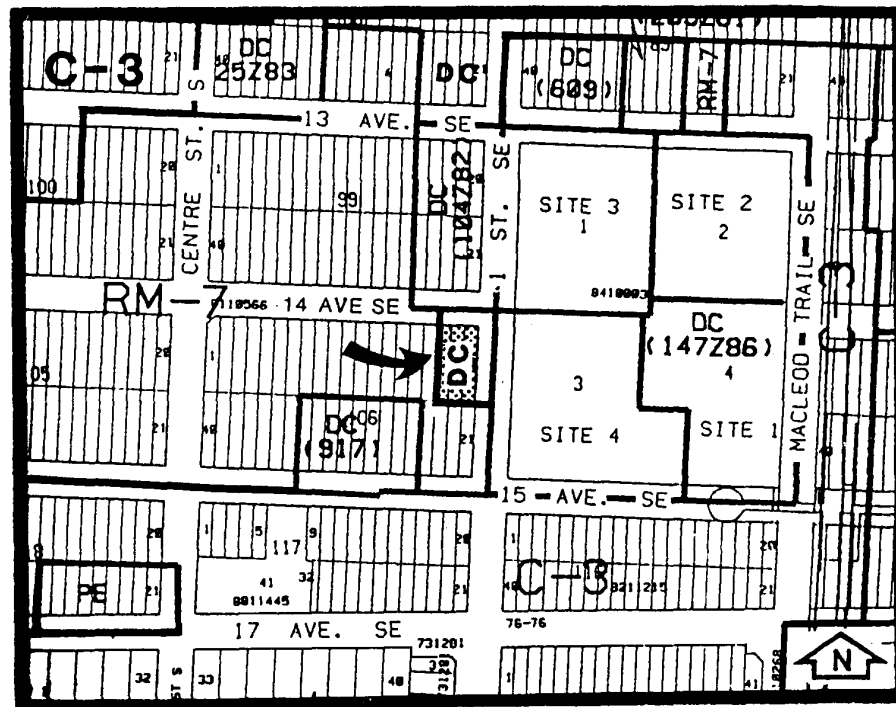


Amendment No. 89/097
Bylaw No. 116Z90
Council Approval: 08 April 1991

SCHEDULE B



1. Land Use

The permitted and discretionary uses of the RM-7 (Residential High Density Multi-Dwelling District) shall be permitted uses and discretionary uses respectively. In addition, an "automotive service" establishment as defined, at the date of this by-law, in Land Use By-Law 2P80 as amended excluding an accessory service and repair facility, propane sales, car wash, and towing service (hereinafter "gas bar") shall be a discretionary use for a period of five (5) years from the date of third and final reading of this By-Law, only and shall not thereafter be permitted, nor allowable in any fashion whatsoever.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-7 (Residential High Density Multi-Dwelling) District shall apply unless otherwise noted below:

a) Gas Bar

The General Rules for Commercial Districts of Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-1A District shall apply, supplemented by guidelines to provide:

- i) intensive attractive landscaping of all yards abutting public streets and residential lands;
- ii) incorporation of measures to accommodate transit zone adjustments necessitated by this development.

b) By-lawed Setback

No building or structure shall be permitted within the 5.182 metre by-lawed setback on 1 Street S.E. The owner will be requested to dedicate the setback at the time of application for a development permit.

c) Development Permit

The term for a development permit for the gas bar shall not extend beyond five years from the date of third and final reading of this by-law.

d) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.