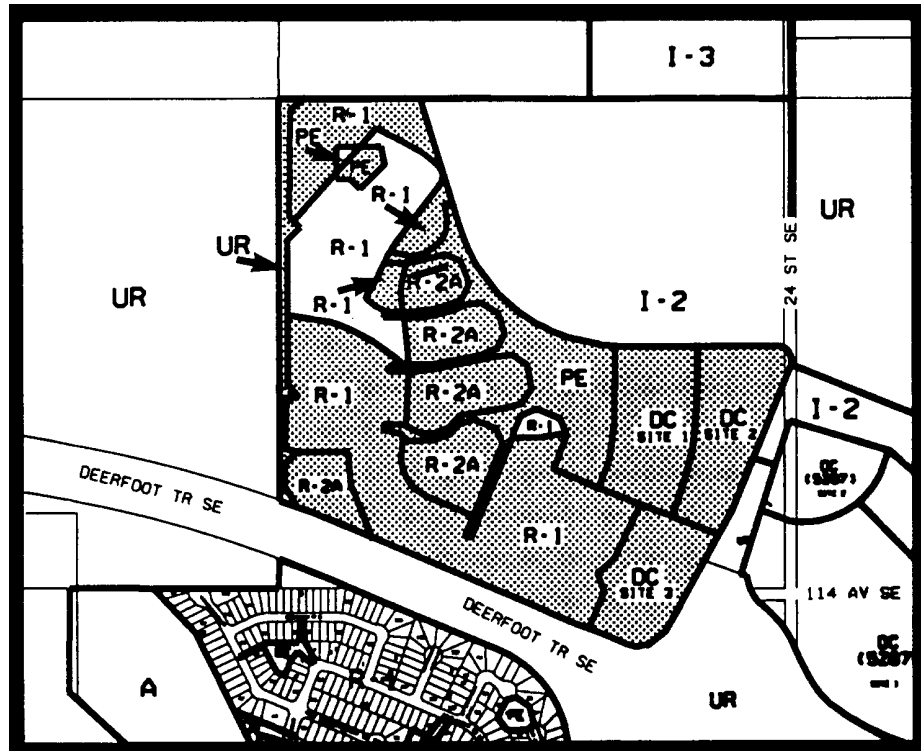


Amendment No. 91/045
Bylaw No. 74Z91
Council Approval: 30 November 1992

SCHEDULE B



Land Use and Development Guidelines for the DC Sites:

Site 1 (2.96 ha.±)

1) Land Use

The land use shall be for a comprehensively designed local commercial project developed along both sides of the street. The Permitted and Discretionary Uses of the C-1A Local Commercial District of By-law 2P80 shall be the Permitted and Discretionary Uses respectively with the additional Discretionary Use of a drinking establishment (licensed lounge) allowed ancillary to a restaurant.

2) Development Guidelines

The general rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-1A Local Commercial District shall apply unless otherwise noted below:

a) Development Concept Plan

- i) Prior to the approval of a subdivision or development permit within this site, a Development Concept Plan for the entire site (2.96 ha.±) shall be submitted to and approved by the Calgary Planning Commission.
- ii) The Development Concept Plan shall regulate the provision, co-ordination and integration of the following:
 - A) building design;
 - B) site layout;
 - C) landscaping;
 - D) parking and access;
 - E) public amenities;
 - F) exterior finishes and colours;
 - G) signage;
 - H) streetscape improvements;
 - I) any other matters considered necessary by the Calgary Planning Commission.
- iii) Any subdivision or development of this site shall comply with the approved Development Concept Plan.

b) Front Yard

- i) No front yard setback shall be required.
- ii) Front yards may be developed for outdoor displays, seating and similar activities to the satisfaction of the Approving Authority.

c) Open Space Integration

Internal pathways linking to the adjacent local pathway network shall be provided within this site to the satisfaction of the Approving Authority.

d) Public and Quasi-public Buildings

Sites for public and quasi-public buildings shall be provided within this site to the satisfaction of the Approving Authority, including but not limited to a church site.

e) Traffic Impact Study

Prior to the approval of a subdivision or development permit for this site, a Traffic Impact Study shall be submitted to the satisfaction of the Director of Transportation.

f) Parking

- i) Parking shall be provided as per the requirements of By-law 2P80 to the satisfaction of the Approving Authority.
- ii) On-street parking may be included in determining parking requirements.
- iii) Each use or cluster of uses located within a building or cluster of buildings shall provide parking on the site for which ownership is registered on the Certificate of Title.
- iv) Where parking on a site does not meet the by-law requirements, then parking may be provided on an adjacent site within either Site 1 or Site 2 provided that parking for Site 1 and Site 2 together complies with the minimum by-law requirements at all times to the satisfaction of the Approving Authority; and, a legal agreement registered on title shall be required where parking is provided on an adjacent parcel.

g) Vehicular Access and Egress

Access and egress shall be determined at the time of approval of the Development Concept Plan.

Site 2 (3.23 ha.±)

1) Land Use

The land use shall be for a comprehensively designed office park. The Permitted and Discretionary Uses of the I-1 Industrial-Business Park District of By-law 2P80 shall be the Permitted and Discretionary Uses respectively:

- a) including athletic and recreational facilities as a Discretionary Use;
- b) excluding production, processing, cleaning, servicing, testing, repair, movement or storage of materials, goods or products.

2) Development Guidelines

The general rules for Industrial Districts contained in Section 43 of By-law 2P80 and the Permitted and Discretionary Use Rules of the I-1 Industrial-Business Park District shall apply unless otherwise noted below:

a) Development Concept Plan

- i) Prior to the approval of a subdivision or development permit within this site, a Development Concept Plan for the entire site (3.23 ha.±) shall be submitted to and approved by the Calgary Planning Commission.
- ii) The Development Concept Plan shall regulate the provision, co-ordination and integration of the following:

- A) building design;
- B) site layout;
- C) landscaping;
- D) parking and access;
- E) public amenities;
- F) exterior finishes and colours;
- G) signage;

- H) any other matters considered necessary by the Calgary Planning Commission.

iii) Any subdivision or development of this site shall comply with the approved Development Concept Plan.

b) Traffic Impact Study

Prior to the approval of a subdivision or development permit for this site, a Traffic Impact Study shall be submitted to the satisfaction of the Director of Transportation.

c) Vehicular Access and Egress

- i) Access and egress shall be determined at the time of approval of the Development Concept Plan.
- ii) Vehicular access and egress to this site shall be located to ensure that business-related traffic avoids residential streets to the satisfaction of the Approving Authority.
- iii) Access and egress to and from
 - A) 18 Street S.E. may be right turns only to the satisfaction of the Approving Authority;
 - B) the Collector Road may be all-turns to the satisfaction of the Approving Authority;
 - C) 24 Street S.E. may be right turns only to the satisfaction of the Approving Authority.

d) Parking

- i) Parking shall be provided as per the requirements of By-law 2P80 to the satisfaction of the Approving Authority.
- ii) On-street parking may be included in determining parking requirements.

- iii) Each use or cluster of uses located within a building or cluster of buildings shall provide parking on the site for which ownership is registered on the Certificate of Title.
- iv) Where parking on a site does not meet the by-law requirements, then parking may be provided on an adjacent site to the satisfaction of the Approving Authority provided that parking for the entire site complies with the minimum by-law requirements at all times to the satisfaction of the Approving Authority; and, a legal agreement registered on title shall be required where parking is provided on an adjacent parcel.

e) Design

The site design shall provide for a central courtyard containing private amenity space, landscaping and parking.

f) Recreational Uses

Sites for recreational buildings and amenities shall be provided within this site to the satisfaction of the Approving Authority.

Site 3 (2.8 ha.±)

1) Land Use

The land use shall be for a comprehensively designed residential development. The Permitted and Discretionary Uses of the R-2A Residential Low Density District of By-law 2P80 shall be the Permitted and Discretionary Uses respectively except that single detached dwellings, semi-detached dwellings and duplex dwellings shall be Discretionary Uses.

2) Development Guidelines

The general rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the R-2A Residential Low Density District shall apply unless otherwise noted below:

a) Residential Setback

No residential dwelling shall be allowed within the 1.6 kilometre setback radius measured from the centre of the Western Co-operative Fertilizer Limited ammonia plant unless and until the plant is abandoned and accordingly the 1.6 kilometre setback ceases to apply.

b) Development Concept Plan

- i) Prior to the approval of a subdivision or development permit for any part of this site, a Development Concept Plan for the entire site (2.8 ha.±) shall be submitted to and approved by the Calgary Planning Commission.
- ii) The Development Concept Plan shall regulate the provision, co-ordination and integration of the following:

- A) site layout;
 - B) parking and access;
 - C) building locations in relation to the 1.6 kilometre setback radius;
 - D) residential and non-residential land uses;
 - E) any other matters considered necessary by the Calgary Planning Commission.
- iii) The Development Concept Plan shall define the long term non-residential use of lands within the 1.6 kilometre setback radius.
- iv) Any subdivision or development of this site shall comply with the approved Development Concept Plan.