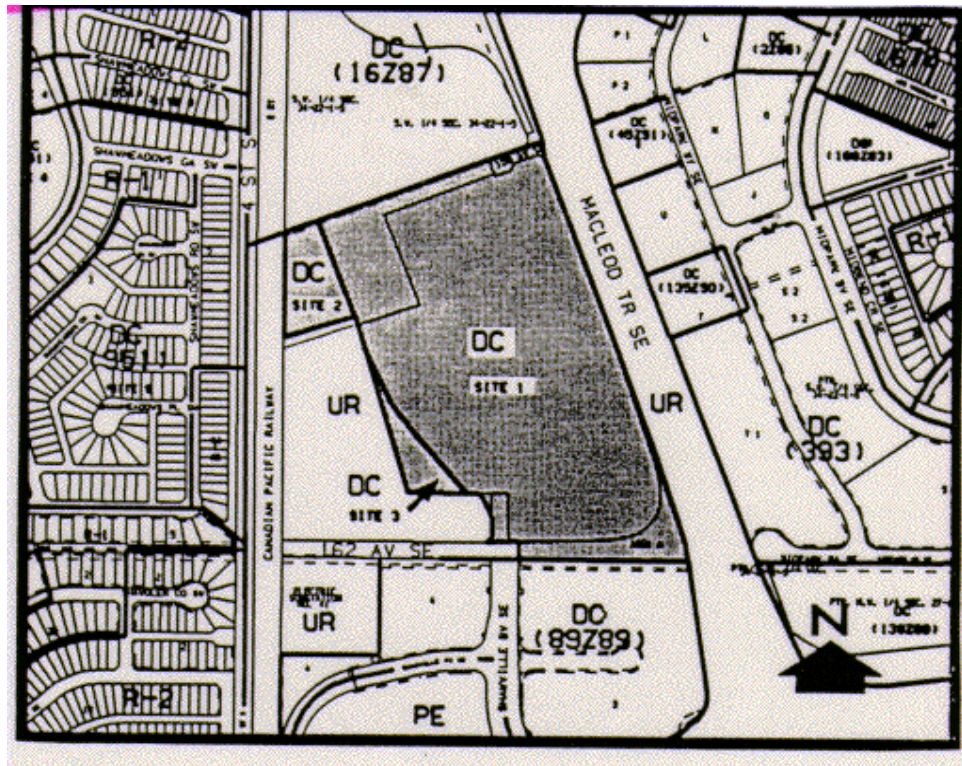


Amendment No. 91/023
Bylaw No. 100Z92
Council Approval: 21 July 1993

SCHEDULE B



Site 1 (9.381 ha±)

1. Land Use

The Permitted and Discretionary Uses of the C-5 Shopping Centre District of By-law 2P80 shall be the permitted and discretionary uses respectively within a comprehensively designed commercial complex having a maximum gross floor area of 26941 square metres.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-5 District shall apply unless otherwise noted below.

a. Gross Floor Area

The maximum gross floor area for all buildings on Site 1 shall be 26941 square metres (290,000 sq. ft.).

b. Parking Areas

Large parking areas shall be made visually discontinuous through the use of landscaping which includes berms, terraces, planters, vegetation and similar treatments to the satisfaction of the Approving Authority.

c. Parking

Parking provided shall not be less than the minimum requirements of By-law 2P80, to the satisfaction of the Approving Authority.

d. Vehicular Access and Egress

Access and egress shall be determined at the time of application for a development permit to the satisfaction of the Approving Authority, with access/egress from Macleod Trail being right turns only on an interim bases.

e. Landscaping

A detailed landscaping plan including an inventory of all existing trees and vegetation on site and their retention as part of this development, shall be submitted to the Approving Authority as part of a development permit application.

f. Signage

A comprehensive signage proposal shall be submitted as part of the development permit application.

g. Prior to approval of any one development permit on the site a comprehensive plan shall be submitted for the entire site with particular emphasis on the orientation and relationship of the buildings to Macleod Trail as a major entranceway to the City;

h. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.

Sites 2 (0.69 ha.±) & 3 (0.396 ha.±)

1. Land Use

The Permitted and Discretionary Uses of the C-2 General Commercial District of By-law 2P80 shall be the permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-2 District shall apply unless otherwise noted below.

a) Gross Floor Area

- The maximum gross floor area for all buildings on Site 2 shall be 558 square metres (6,000 sq. ft.).
- The maximum gross floor area for all buildings on Site 3 shall be 372 square metres (4,000 sq. ft.).

b) Development Plans.

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.