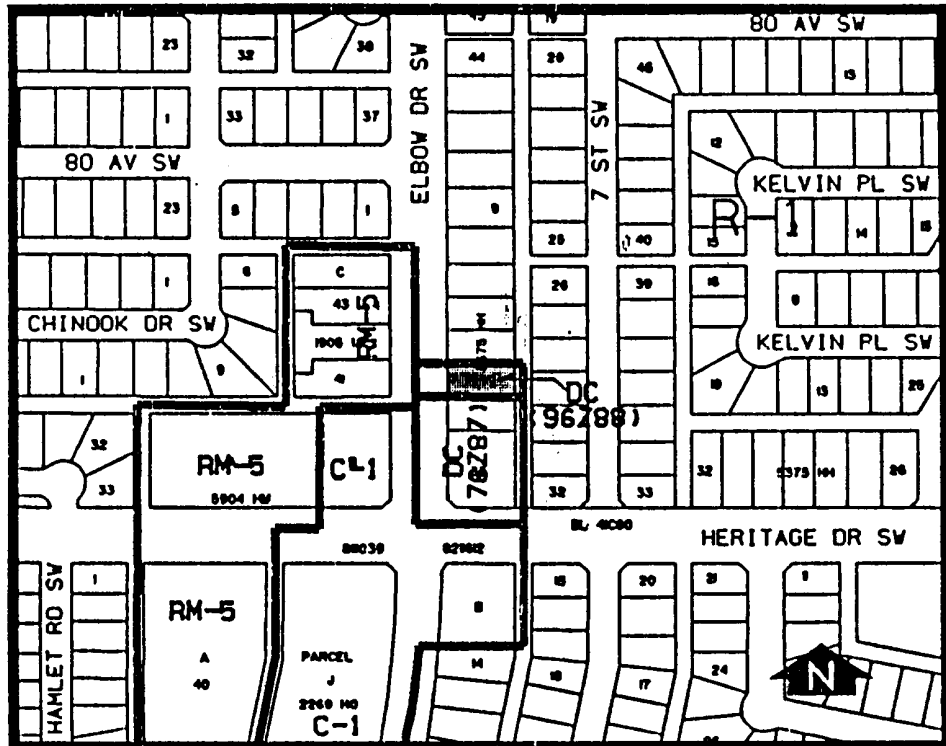


**Amendment No. 93/051
Bylaw No. 70Z93
Council Approval: 19 July 1993**

SCHEDULE B



1. Land Use

The Permitted and Discretionary Uses of the R-1 District of By-law 2P80 shall be permitted and discretionary uses respectively, with the additional discretionary use of a professional office for a single business within the building existing on the site on the date of passage of this by-law. For the purposes of this By-law, professional office means a facility used for the provision of professional, management or consulting services, and without restricting the generality of the foregoing; such uses may include the offices of real estate appraisers, lawyers, accountant, architects or engineers but shall not include a medical clinic.

2. Development Guidelines

- a. The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the R-1 District shall apply unless otherwise noted below.

b. Vehicular Access and Egress

All access and egress from Elbow Drive SW shall be right in and right out only to the satisfaction of the Approving Authority.

c. Building Alteration

Any alteration to the exterior of the structure shall require the approval of detailed plans by the Approving Authority.

d. Landscaping

A detailed landscaping plan indicating all trees and vegetation existing on site and that one shall be submitted to the Approving Authority as part of a development permit application.

e. Parking

Staff parking shall be provided off the rear lane with visitor parking accessed from Elbow Drive, and located on the southerly portion of the site.

f. Storage

No enclosed or exposed storage shall be allowed on site at any time. The garbage enclosures shall be integrated with the building and visually screened from all adjacent sites and public thoroughfares.

g. Signage

Signage shall be limited in size, design and location and must be compatible with the residential neighbourhood to the satisfaction of the Approving Authority.

h. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.