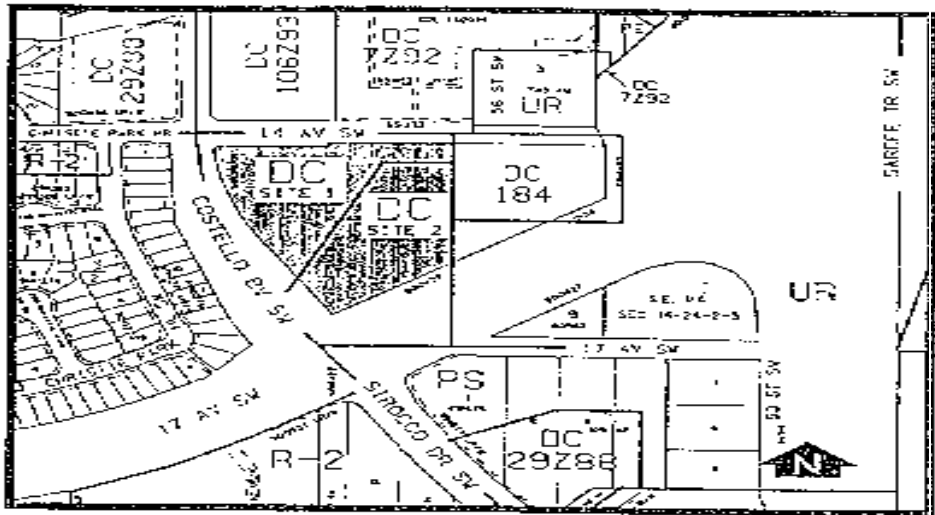


**Amendment No. 95/011  
Bylaw No. 42Z95  
Council Approval: 26 June 1995**

**SCHEDULE B**



SITE 1 - 1.17 ha± (2.9 ac±)

1. LAND USE

The land use shall be for a comprehensively-designed special care facility comprised of a building containing assisted living units and communal dining, recreational and social facilities and providing personal, medical and elderly daycare services to meet the assisted living and special care needs of the clientele.

2. DEVELOPMENT GUIDELINES

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below.

a. Assisted Living Unit

An assisted living unit shall

- (i) consist of two or more rooms used or designed to be used as a private residence by one or more persons, and

- (ii) contain living, sleeping and sanitary facilities but only ancillary cooking or dining facilities with such facilities to be supplemented by communal facilities provided within the same development.
- b. Density

A maximum of 90 assisted living units per hectare.
- c. Parking
  - (i) A minimum of 0.5 parking stalls per assisted living unit.
  - (ii) If Site 2 develops prior to Site 1, as a requirement of a development permit application for Site 1 or a subdivision application to create separate Certificate of Titles for Site 1 and Site 2, a parking analysis shall be submitted to evaluate the suitability of the parking on Site 2 and, based on this analysis, the Approving Authority may:
    - (A) increase or decrease the parking requirements for Site 1;
    - (B) require additional parking to be provided on Site 1 to serve Site 2 and the registration of a joint parking agreement on title to this effect.
- d. Vehicular Access
  - (i) Vehicular access and egress shall be from 14 Avenue S.W. only with no direct access or egress allowed to either Costello Boulevard S.W. or 17 Avenue S.W.
  - (ii) Provision shall be made for vehicular access and egress through Site 1 to Site 2 from 14 Avenue S.W. and, in the event of the subdivision of Site 1 and Site 2 to create separate Certificate of Titles, a joint access agreement shall be registered on Site 1 to this effect.
- e. Building Elevation

The maximum elevation of the roof peak of the building shall not exceed the 1186 metre geodetic by more than 150 millimetres.
- f. Project Phasing

As a requirement of the development of either Site 1 or Site 2, both sites shall be:

  - (i) graded, and seeded or sodded throughout, and
  - (ii) fenced along the exterior property line with a high-quality screening fence or a sound attenuation fence, where required.
- g. Landscaping Features

The landscaping plan for the site shall incorporate pathways, seating and other landscaping features as designated to meet the needs of mobility impaired persons.
- h. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure that the development conforms substantially to the plans and renderings submitted to City Council during its consideration of the by-law.

SITE 2 - 1.08 ha± (2.67 ac.±)

1. LAND USE

The land use shall be for a comprehensively-designed special care facility comprised of a building containing assisted living units and communal dining, recreational and social facilities and providing personal, medical and elderly daycare services to meet the assisted living and special care needs of the clientele.

2. DEVELOPMENT GUIDELINES

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below.

a. Assisted Living Unit

See Site 1, Section 2.a.

b. Density

See Site 1, Section 2.b.

c. Parking

(i) A minimum of 0.5 parking stalls per assisted living unit.

(ii) If Site 1 develops prior to Site 2, as a requirement of a development permit application for Site 2 or a subdivision application to create separate Certificate of Titles for Site 1 and Site 2, a parking analysis shall be submitted to evaluate the suitability of the parking on Site 1 and, based on this analysis, the Approving Authority may:

(A) increase or decrease the parking requirements for Site 2;

(B) require additional parking to be provided on Site 2 to serve Site 1 and the registration of a joint parking agreement on title to this effect.

d. Vehicular Access

See Site 1, Section 2.d.

e. Building Elevation

The maximum elevation of the roof peak of the building shall not exceed the 1182.9 metre geodetic by more than 150 millimetres.

f. Project Phasing

- g. See Site 1, Section 2.f.  
Landscaping Features

See Site 1, Section 2.g.

- h. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.

- i. Pedestrian Circulation

A public access easement shall be registered along the east side of the site to allow for pedestrian circulation between 14 Avenue S.W. and 17 Avenue S.W.