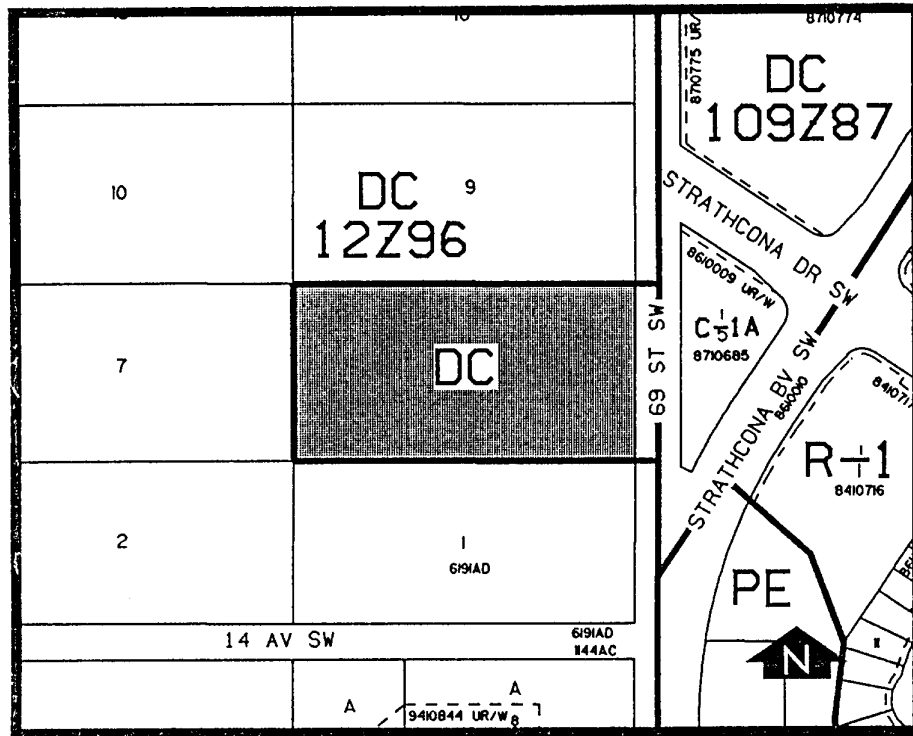


**Amendment No. 96/059**  
**Bylaw No. 92Z96**  
**Council Approval: 3 December 1996**

**SCHEDULE B**



1. Land Use

The land use shall be for a comprehensively designed multi-dwelling development of semi-detached and townhouse buildings only and class one home occupations only.

2. Development Guidelines

The general rules for residential districts contained in Section 20 of Bylaw 2P80 and the permitted and discretionary use rules of the RM-1 Residential Low Density District shall apply unless otherwise noted below:

a. Density

The maximum not to exceed 24 dwelling units.

b. Building Form and Height

Only two, three, and four dwelling unit buildings shall be constructed on the site. All units shall be bungalow style with 12/12 pitch roof structures. Walk-out basements may be constructed along the ravine embankments. Lofts may be developed within the high roof structures.

c. Building Finishes

The main exterior finishes shall be stucco, natural stone and roof wood shakes, or better.

d. Parking

All units shall be provided with double garages and double width driveways.

e. Landscaping

A minimum of 50% of the site area plus all adjoining city boulevards shall be landscaped. The existing natural ravine shall be retained, restored and protected to the extent possible and as shown on the plans submitted as part of this application.

f. Regional Pathway

A minimum 29.5 metre wide easement through the ravine is to be provided and a minimum 2.5 metre wide pathway shall be constructed within this easement by the developer to the satisfaction of the Approving Authority.

g. Development Plans

Approval of this application does not constitute an approval of a development permit. Comprehensive plans including a detailed landscape plan and any phasing of construction plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure that the development permit plans and renderings are the same or substantially similar to the plans and renderings submitted to City Council during its consideration of the bylaw.