



# **Amendment No. 96/103**

## **Bylaw No. 23Z103**

### **SCHEDULE B**

CONTINUED

A maximum of 19 140 sq m (206,000 sq ft) within the main building with an additional 224 sq m (2400 sq ft) permitted as a stand alone restaurant on the site.

c) **Parking**

A minimum of 650 on-site parking stalls. Reciprocal parking agreements shall be maintained with the Canadian Tire site to the south.

d) **Road Widening**

A strip of land totalling approximately 240.45 square metres is required for road widening purposes from the northerly edge of this site adjacent to 12 Avenue N.E. as indicated on Appendix II of the report for File No. AM96/103. The provision of these lands shall be addressed at the time of the first development permit under this bylaw.