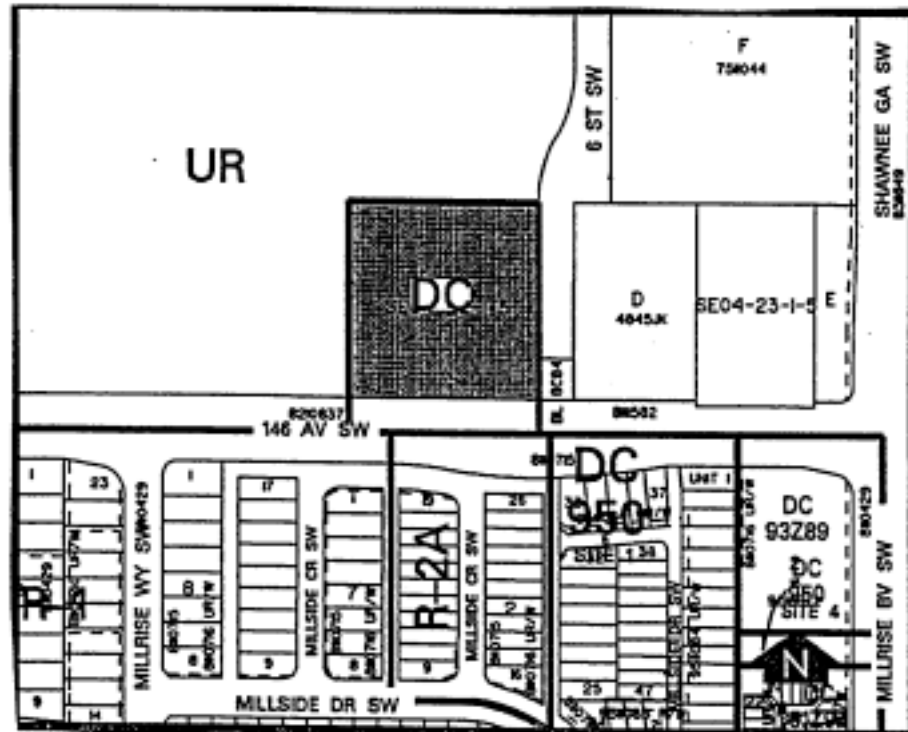


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Bylaw No. 12Z98
Council Approval: 23 February 1998

SCHEDULE B



1. **Land use**

The permitted land use shall be for a comprehensively designed multi-dwelling development and home occupations class one only.

2. **Development Guidelines**

The General Rules for residential districts contained in Section 20 of Bylaw 2P80 and the permitted and discretionary use rules of the RM-5 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below:

a. **Density**

The maximum number of dwelling units shall be 124.

b. **Building Height**

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The maximum building height shall be 2-storey where the development faces 146 Avenue SW, and maximum 4-storey on the north side of the site.

c. **Parking**

A minimum of 252 parking stalls shall be provided, all in an underground parking garage with a minimum of 22 parking stalls designated as visitor parking.

d. **Site Grading and Landscaping**

The landscape plan and standards shall be as shown on the plan dated 1998 February 6, and shall include all adjoining city boulevards.

A sound attenuation or wood screening fence, whichever is required, shall be built inside the property line of the site where it abuts 146 Avenue SW.

The remainder of the site shall have a wood screening fence or a high quality coated chain link fence inside the property line of the site where it abuts the lands to the north and west. The detailed landscaped plan shall include all site surface finishes, berms, retaining walls, curbs, and detailed grading of the site, details of plant materials, their species, numbers and sizes shall be submitted as an integral part of a development permit application.

e. **Site Access and Egress**

Access and egress to the site shall be from Shawnee Drive and 6 Street SW. The upgrading of 6 Street SW and Shawnee Drive SW shall be as set out in the Special Development Agreement for this project.

f. **Development Plans**

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This development is tied to the building plans, drawings and renderings submitted to City Council during their consideration of this bylaw. However, approval of this application does not constitute an approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such application, the Approving Authority shall ensure that the building plans and site layout, landscaping and grading shall conform with the plans and renderings submitted to City Council.