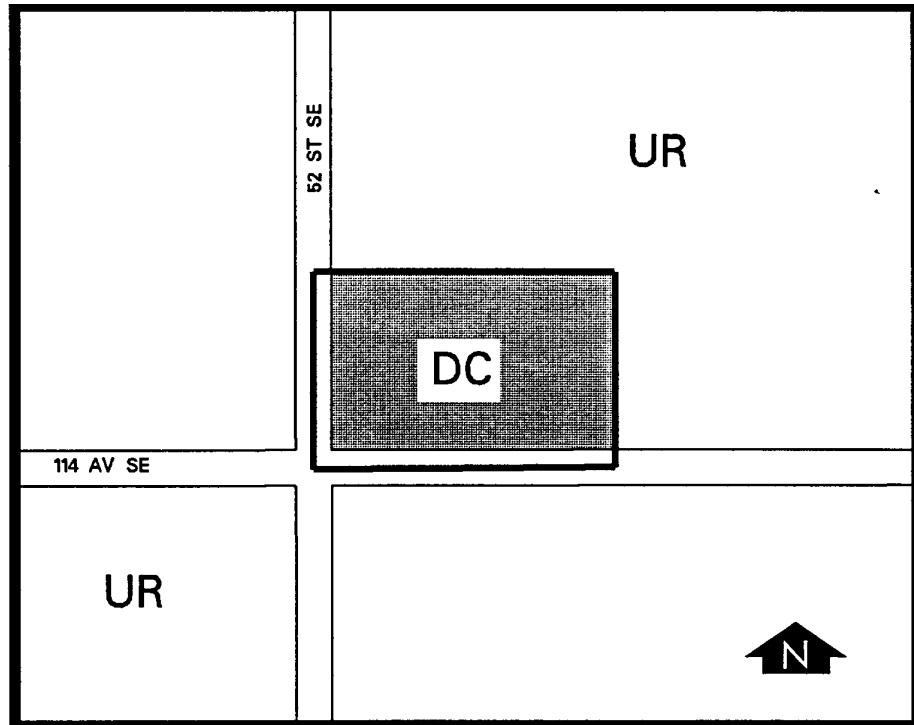


**Amendment No. 98/046**  
**Bylaw No. 88Z98**  
**Council Approval: 21 July 1998**

**SCHEDULE B**



1. Land Use

The Discretionary Uses shall be a truck/tractor and trailer storage and servicing facility and ancillary offices.

2. Development Guidelines

The General Rules for Industrial District contained in Section 43 of Bylaw 2P80 and the permitted and discretionary use rules of the I-4 Limited-Serviced Industrial District shall apply unless otherwise noted below:

a. Access and Egress

No direct vehicular access is permitted to or from 52 Street SE. Access shall be oriented to 114 Avenue SE.

b. Road Widening Setback

A 4.492 metre bylawed property line setback is required along 52 Street SE.

c. Deferred Servicing Agreement

A Deferred Servicing Agreement will be required prior to release of any development permit.

d. Stormwater

A Stormwater Management Report will be required prior to approval of any development permit.

e. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall subsequently be submitted to the Approving Authority as part of a Development Permit Application.