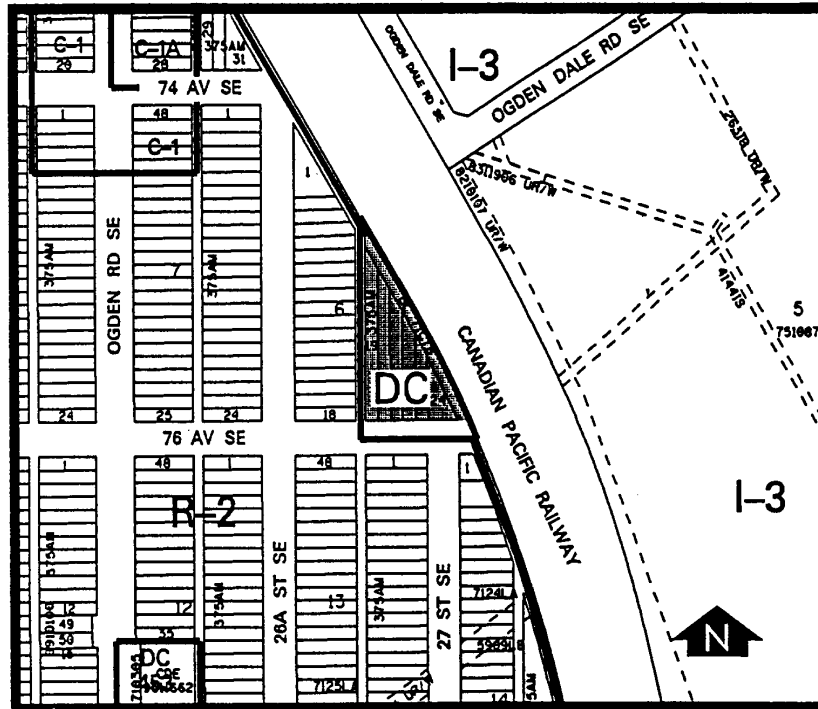


Amendment No. 99/146
Bylaw No. 29Z2000
Council Approval: 13 March 2000

SCHEDULE B



1. Land Use

The Permitted and Discretionary Uses of the RM-1 Residential Low Density Multi-Dwelling District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively with the additional Discretionary Uses of semi-detached dwellings and a community association building.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-Dwelling District shall apply unless otherwise noted below.

(a) Parking

- (i) The community association building shall provide a minimum of one stall per 46 square metres of net floor area.

(ii) Visitor parking stalls shall be provided to the satisfaction of the Development Authority.

(b) Signage

A comprehensive signage proposal shall be submitted as part of the development permit application to reflect the residential character of the area.

(c) Noise

Prior to approval of a Development Permit and subsequent to finalising lot and building grades for a residential development on the site, a noise analysis is to be submitted to and approved by the Development Authority.

(d) Community Association Building

The community association building shall be limited to low-intensity activities, appropriate to the size of the site and the proximity of low density residential units.

(e) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.