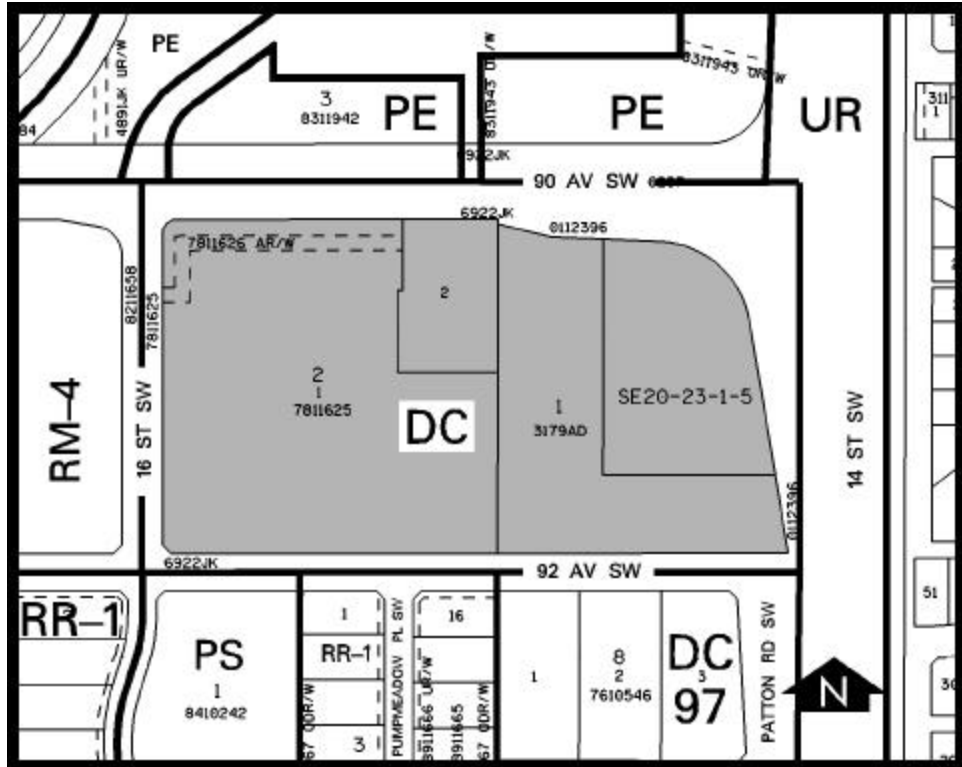


Amendment # 2001/013
Bylaw # 123Z2001
Council Approval: 2001 December 10

SCHEDULE B



DC DIRECT CONTROL DISTRICT

1. Land Use

The land use shall be for a comprehensively designed, mixed use development which may contain the following Discretionary Uses:

- Athletic and recreational facility;
- Apartment buildings;
- Assisted living units;
- Child care facility;
- Private schools (Kindergarten through Grade 9 only); and

- Public or quasi-public buildings.

For the purpose of this Bylaw, "Assisted living units" means dwelling units modified in terms of kitchen and living space as a result of the provision of such facilities or services as communal dining, social/recreational activities and housekeeping within the complex.

2. Development Guidelines

The General Rules for Special Districts contained in Section 48 of Bylaw 2P80 shall apply in addition to the rules noted below:

(a) Use Capacities

(i) With any development on the site the following capacities will apply:

- Child care facility – a maximum of 80 children, in total;
- Apartment buildings – a maximum of 110 units in total to be comprised of apartments or assisted living units or a combination of both;
- Private Schools – a maximum of 2 schools with a combined total maximum enrolment of 440 students; and
- Public or quasi-public buildings - a maximum of 600 seats for a church and a maximum of 400 seats for an auditorium.

(ii) For the purposes of this Bylaw any undeveloped capacity for any of the above noted uses shall not be transferred to increase the allowable capacity for any other use.

(b) Development Area

All buildings and any additions thereto shall be entirely contained within the development area defined by the building setback line as shown on Attachment A.

(c) Building Height

A maximum of 14 metres on the northern edge of the development area tapering down evenly to a maximum of 11 metres on the south edge of the development area.

(d) Floor Areas

The gross floor area of any addition or expansion to buildings existing on the site as of the date of the passage of this Bylaw shall not exceed 1,533 square metres.

(e) Site Access

- (i) No direct access except for emergency vehicles is permitted to or from 92 Avenue SW;
- (ii) All turns access is permitted to 16 Street SW and right turns in and right turns out only are permitted to 90 Avenue SW to the satisfaction of the General Manager of Planning and Transportation Policy.

(f) Parking

- (i) Each use shall provide parking in accordance with the requirements of Section 18 of the Land Use Bylaw until 425 parking stalls are provided on-site; and
- (ii) An on-site drop-off and pick-up area designed to the satisfaction of the General Manager, Planning and Transportation Policy shall be provided in conjunction with any private school development.

(g) Landscaping

- (i) A minimum 2 metre landscaped buffer shall be provided along property lines adjacent to all new parking areas;
- (ii) A minimum 6 metre landscaped buffer shall be provided along 92 Avenue SW; and
- (iii) Continuous rows of parking shall have landscaped breaks approximately every 10 parking spaces.

(h) Architectural Design Theme

There shall be a coordinated comprehensive architectural design theme for all buildings, the details of which shall be provided with the first development permit application.

(i) Pedestrian Network

Details of a comprehensive pedestrian network linking buildings and parking areas and providing access through the site shall be provided with the first development permit application.

(j) School Operational Review

With any development permit application for a school facility, the following shall be submitted:

- (i) an operational review which shall address student drop-off, on site circulation and access to the road network; and
- (ii) an updated traffic study which shall be considered in the Development Authority's evaluation of the impacts and merits of the proposed school facility.

(k) Outside Storage

- (i) Outside storage shall be visually screened from adjacent sites and public thoroughfares; and
- (ii) Outside storage shall be contained within the development area.

(l) Garbage Storage

Garbage enclosures shall be integrated within buildings and visually screened from all adjacent sites and public thoroughfares.

(m) Signs

See Sign Appendix

(n) Development Plans

(i) Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the site layout conforms with Attachment A of this Bylaw; and

(ii) A site plan for the entire lands governed by this Bylaw shall be submitted with any development permit application to the satisfaction of the Approving Authority. The level of detail on the site plan shall be sufficient to ensure that the site is developed in a comprehensive and coordinated manner, consistent with the requirements of this Bylaw.

