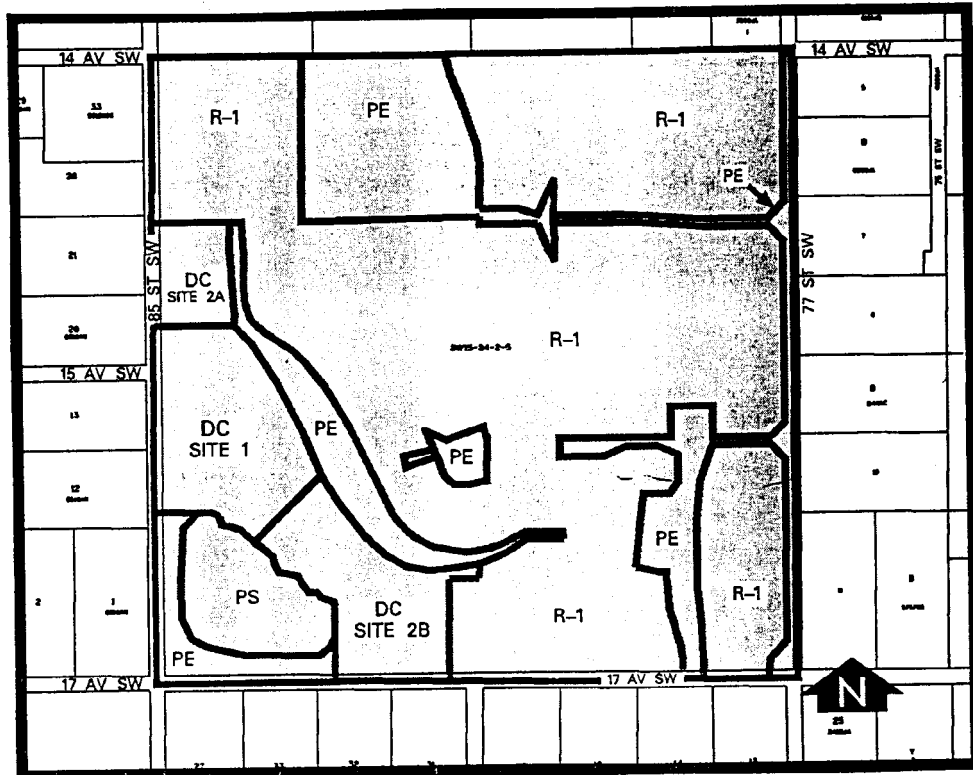


Amendment # 2000/112
Bylaw # 72Z2001
Council Approval: 2001 September 10

SCHEDULE B



DC DIRECT CONTROL DISTRICT

Site 1 4.09 ha± (10.11 ac±)

1. Land Use

The land use shall be a comprehensively designed mixed use commercial and residential development, with the Permitted and Discretionary Uses of the C-5/5 Shopping Centre Commercial District of Bylaw 2P80 being the Permitted and Discretionary Uses respectively with the additional Discretionary Use of a private school.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-5/.5 Shopping Centre Commercial District shall apply unless otherwise noted below:

(a) Gross Floor Area

The maximum gross floor area of commercial use shall not exceed 11,070 square metres which may include a retail food store component not exceeding 3,720 square metres, and an office component not exceeding 2,100 square metres, above the main floor of the commercial building(s).

(b) Density

The maximum number of dwelling units shall be 77.

(c) Building Height

A maximum of 4 storeys, not exceeding 13.5 metres at any eaveline.

(d) Parking and Loading

(i) Parking and loading provided for the commercial and office use shall not be less than the minimum requirements of Bylaw 2P80 for Sector (Community) Centres. Parking areas shall be made visually discontinuous through the use of landscaping which includes berms, terraces, planters, vegetation and similar treatments to the satisfaction of the Development Authority; and

(ii) Parking for dwelling units shall be provided at the ratio of 1.5 parking stalls per unit and shall be located underground and segregated from the commercial parking. Visitor parking may be provided at grade and separate from the commercial parking.

(e) Comprehensive Development Concept Plan

A comprehensive concept plan for the entire lands governed by this Bylaw shall be submitted with the initial development permit application to the satisfaction of the Development Authority and shall form the basis for subsequent development permit application reviews. The comprehensive concept plan shall include:

(i) A site plan including possible building footprints, parking areas, vehicular and pedestrian circulation routes;

(ii) An overall pedestrian circulation plan that demonstrates the ability of pedestrians to move from the edges of the site to and between buildings and to the adjacent open space;

(iii) A unifying architectural theme including details for, but not limited to, exterior finishing materials, colours, pedestrian and vehicle lighting, street furniture, and roof screening;

(iv) A comprehensive signage package including proposed architectural details for freestanding, directional and fascia signage; and

(v) A unifying landscape plan including details and standards for species type, size, number, and location. The landscape plan shall also include proposed standards for the treatment of all required yards, boulevards, on-site pedestrian circulation routes, and treatments proposed for interior on-site boulevard and road edge conditions.

(f) Building Form

The ends of buildings facing single-detached development shall be stepped-down by one storey.

(g) Grading and Retaining Walls

The natural landform shall be retained as much as possible without mass regrading, with the site slope being absorbed into the building massing, and exposed retaining wall segments each having a maximum height of 1.2 metres.

(h) Dwelling Units

(i) In a building, no dwelling unit shall be located below any storey used for commercial purposes; and

(ii) Dwelling units shall have an entrance separate from the entrance to any commercial component of the building.

Site 2A and 2B 4.30 ha± (10.62 ac±)

1. Land Use

The Permitted and Discretionary Uses of the RM-5 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively with the additional Discretionary Uses of landscaped entrance features and community identification signage.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-5 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below:

(a) Density

The maximum number of dwelling units shall be 273, distributed as follows:

(i)	Site 2A	60
(ii)	Site 2B	213

(b) Building Height

The maximum building height shall be as follows:

(i) Site 2A a maximum of 4 storeys not exceeding 13.5 metres at any eaveline;

(ii) Site 2B a maximum of 4 storeys not exceeding 13.5 metres at any eaveline;

(c) Parking

Parking for dwelling units shall be provided at the ratio of 1.5 parking stalls per unit and shall be located underground. Visitor parking may be provided at grade.

(d) Building Form

The ends of buildings facing single-detached development shall be stepped-down by one storey.

(e) Grading and Retaining Walls

The natural landform shall be retained as much as possible without mass regrading, with the site slope being absorbed into the building massing, and exposed retaining wall segments each having a maximum height of 1.2 metres.