

BYLAW NO 35Z2002

BEING A BYLAW OF THE CITY OF CALGARY TO AMEND
THE CITY OF CALGARY LAND USE BYLAW 2P80
(Land Use Amendment # LOC2001-0016)

WHEREAS it is desirable to amend The City of Calgary Land Use Bylaw Number 2P80 to change the Land Use Designation of certain lands within the City of Calgary,

AND WHEREAS Council has held a public hearing as required by Section 692 of the Municipal Government Act, R S A 2000, c M-26 as amended,

NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:

- 1 The City of Calgary Land Use Bylaw, being Bylaw 2P80 of the City of Calgary, is hereby amended
- 2 Bylaw 2P80 is hereby amended by deleting that portion of the Land Use Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use Map shown as shaded on Schedule "B" to this Bylaw, including any Land Use Designation, or specific Land Uses and Development Guidelines contained in the said Schedule "B"
- 3 This Bylaw comes into force on the date it is passed

READ A FIRST TIME THIS 13TH DAY OF MAY 2002

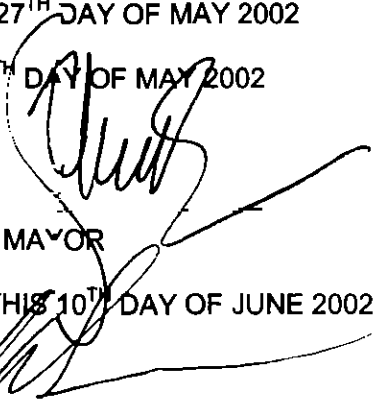
READ A SECOND TIME, AS AMENDED, THIS 27TH DAY OF MAY 2002

READ A THIRD TIME, AS AMENDED, THIS 27TH DAY OF MAY 2002

DEPUTY MAYOR

DATED THIS 10TH DAY OF JUNE 2002

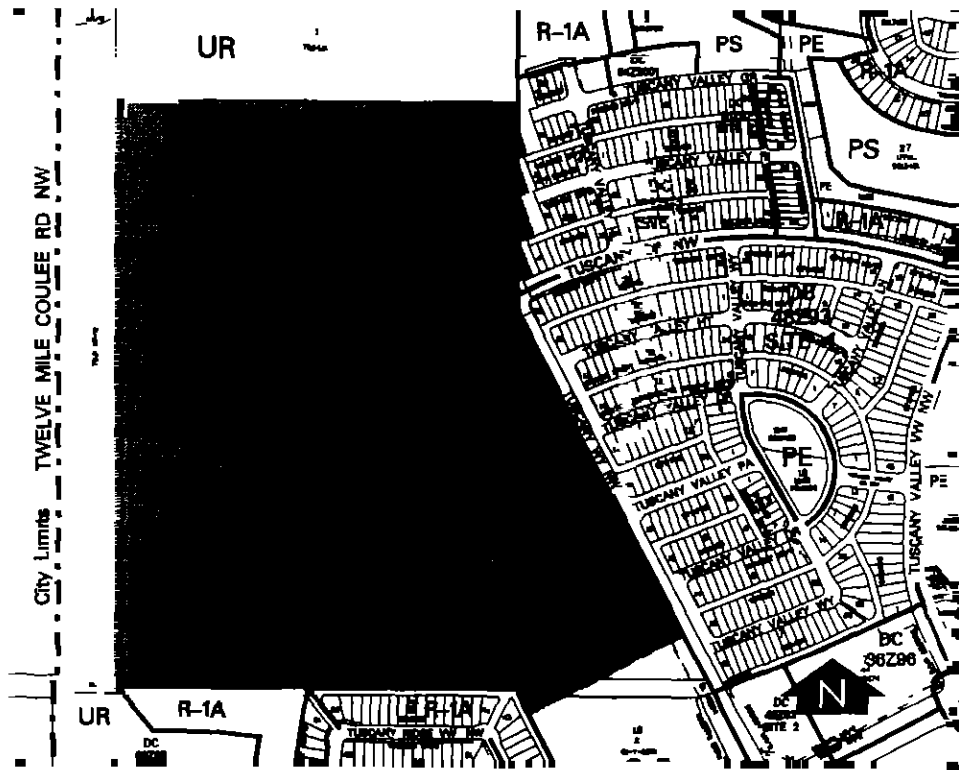
CITY CLERK



The image contains two handwritten signatures in black ink. The first signature is positioned above the 'DEPUTY MAYOR' text, and the second signature is positioned above the 'CITY CLERK' text. Both signatures are cursive and somewhat stylized.

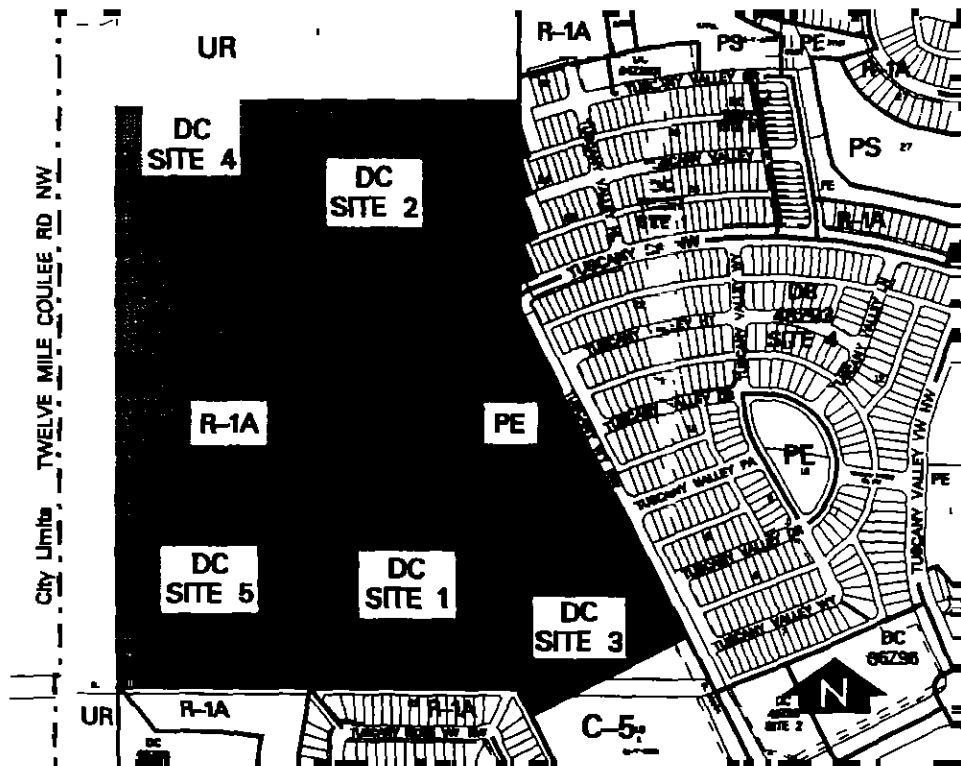
**Amendment # LOC2001-0016
Bylaw # 35Z2002**

SCHEDULE A



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SCHEDULE B



DC DIRECT CONTROL DISTRICT

Site 1 3.3 hectares ± (8.2 acres ±)

1 Land Use

The Permitted and Discretionary Uses of the R-1A Residential Narrow Lot Single-Detached District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively

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SCHEDULE B

CONTINUED

2 Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1A Residential Narrow Lot Single-Detached District shall apply unless otherwise noted below

(a) Lot width

- (i) A minimum width of 7.5 meters,
- (ii) Section 22.2(3)(e)(ii) and (iii) of Bylaw 2P80 shall apply, and
- (iii) Notwithstanding the above, lots fronting onto the Joint Use Site shall be a minimum of 8.5 metres in width

(b) Lot coverage

A maximum of 55 percent which shall be reduced by a minimum area of 18 square meters for each required on-site parking stall, except where the required parking stall is provided within a carport or garage

(c) Parking

- (i) See Section 18,
- (ii) Notwithstanding (i) a minimum of two on-site parking stalls shall be provided for each dwelling unit of which no more than one parking stall may be located in a front yard, and
- (iii) All lots at the end of blocks will have detached garages built at the same time as the home

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SCHEDULE B

CONTINUED

(d) Side Yard

Notwithstanding Section 22 2(3)(b)(iii) of Bylaw 2P80, a 1.2 metre required side yard may be reduced to 0 metres where, on the opposite side of the site, a side yard is provided in accordance with Section 22 2(3)(b)(ii) for a corner site and Section 22 2(3)(b)(i) for all other sites where

(i) the owner of the adjacent site grants a 1.5 metre private maintenance easement which shall

(A) be registered by caveat against the title of the site proposed for the development and the title of the adjacent site, and

(B) include a 300 millimetre eave and footing encroachment easement

(ii) all roof drainage from the building is directed onto the site by eavestroughs and downspouts

Site 2 1.39 hectares (3.44 acres)

1 Land Use

The Permitted and Discretionary Uses of the R-1A Residential Narrow Lot Single-Detached District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively

2 Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1A

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SCHEDULE B

CONTINUED

Residential Narrow Lot Single-Detached District shall apply unless otherwise noted below

(a) Lot width

(i) A minimum width of 8.5 meters, where a minimum average width of 8.75 meters within a tentative plan is maintained, and

(ii) Section 22.2(3)(e)(ii) and (iii) of Bylaw 2P80 shall apply

(b) Lot coverage

A maximum of 50 percent which shall be reduced by a minimum area of 18 square meters for each required on-site parking stall, except where the required parking stall is provided within a carport or garage

(c) Private Outdoor Amenity Space

A private outdoor amenity space shall be provided for each dwelling unit at or below the floor level of the first storey and it shall have a minimum area of 14 square meters and a minimum dimension of 3 meters

(d) Parking

(i) See Section 18, and

(ii) Notwithstanding (i) a minimum of two on-site parking stalls shall be provided for each dwelling unit of which no more than one parking stall may be located in a front yard

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SCHEDULE B

CONTINUED

Site 3 2.83 hectares (6.99 acres)

1 Land Use

The Permitted and Discretionary Uses of the RM-4/75 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively,

b) Notwithstanding the above apartments are excluded

2 Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4/75 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below.

(a) Building Height

(i) Maximum building height for townhouses shall be as follows

A maximum of 3 storeys not exceeding 10 metres at any eaveline except a maximum of 3 storeys and 9 metres at any eaveline for facades fronting

(A) single-detached development to the south and west,

(B) the adjacent reserve site to the north, and

(C) Tuscany Way NW to the east

(ii) For the purpose of this district, height shall be measured from grade at all points adjacent to a building and from an

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SCHEDULE B

CONTINUED

approved landscaped deck where such a deck is adjacent to the rear wall of the building

(b) Rear Yards

Notwithstanding Section 29(3)(c)(i) and (ii), no portion of a building structure shall be located closer than 9 metres to the single-detached residential development to the south and west

(c) Density

The maximum number of units allowed shall be 150

Site 4 2.83 hectares (6.99 acres)

1 Land Use

The land use shall be for a comprehensively designed church

2 Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1 Residential Single-Detached District shall apply unless otherwise noted below

(a) Building Height

In addition to Section 22(3)(d), the maximum height for a church steeple shall be 17 metres

(b) Vehicular access to the site shall be from Twelve Mile Coulee Road only

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SCHEDULE B

CONTINUED

Site 5 0.9 hectares (2.3 acres)

1 Land Use

The permitted and discretionary uses of the R-1A Residential Narrow Lot Single-Detached District of Bylaw 2P80 shall be the Permitted and Discretionary Uses, respectively

2 Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1A Residential Narrow-Lot Single Detached District shall apply unless otherwise noted below

(a) Lot width

- (i) A minimum width of 8.5 metres,
- (ii) Section 22.2(3)(e)(ii) and (iii) shall apply

(b) Lot coverage

A maximum of 55 percent which shall be reduced by a minimum area of 18 square metres for each required on-site parking stall, except where the required parking stall is provided within a carport or garage

(c) Parking

- (i) see Section 18, and
- (ii) notwithstanding (i) a minimum of two on-site parking stalls shall be provided for each dwelling unit of which no more than one parking stall may be located in a front yard,
- (iii) All lots at the end of blocks will have detached garages built at the same time as the home

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SCHEDULE B

CONTINUED

(d) Side Yard

Notwithstanding section 22 2(3)(b)(iii) of Bylaw 2P80,

A 1 2 metre required side yard may be reduced to 0 metres where, on the opposite side of the site, a side yard is provided in accordance with Section 22 3(3)(b)(ii) for a corner site and Section 22 2(3)(b)(i) for all other sites where the owner of the adjacent site provided a private maintenance easement referred to in Section 22 1(3)(b)(ii) it shall,

- (i) be 1 5 metres in width,
- (ii) be registered by caveat against the title of the site proposed for the development and the title of the adjacent site, and
- (iii) include a 300 millimetre eave and footing encroachment easement

All roof drainage from the building is directed onto the site by eavestroughs and downspouts


TO CITY CLERK
FROM DEVELOPMENT AND BUILDING APPROVALS
RE LUB/35Z2002

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APPROVED AS TO CONTENT


HEAD - ORIGINATING BUSINESS UNIT

APPROVED AS TO FORM

 April 17/02
CITY SOLICITOR

BUDGET PROGRAM NO
(if applicable)

DATE OF COUNCIL INSTRUCTION
(if applicable)