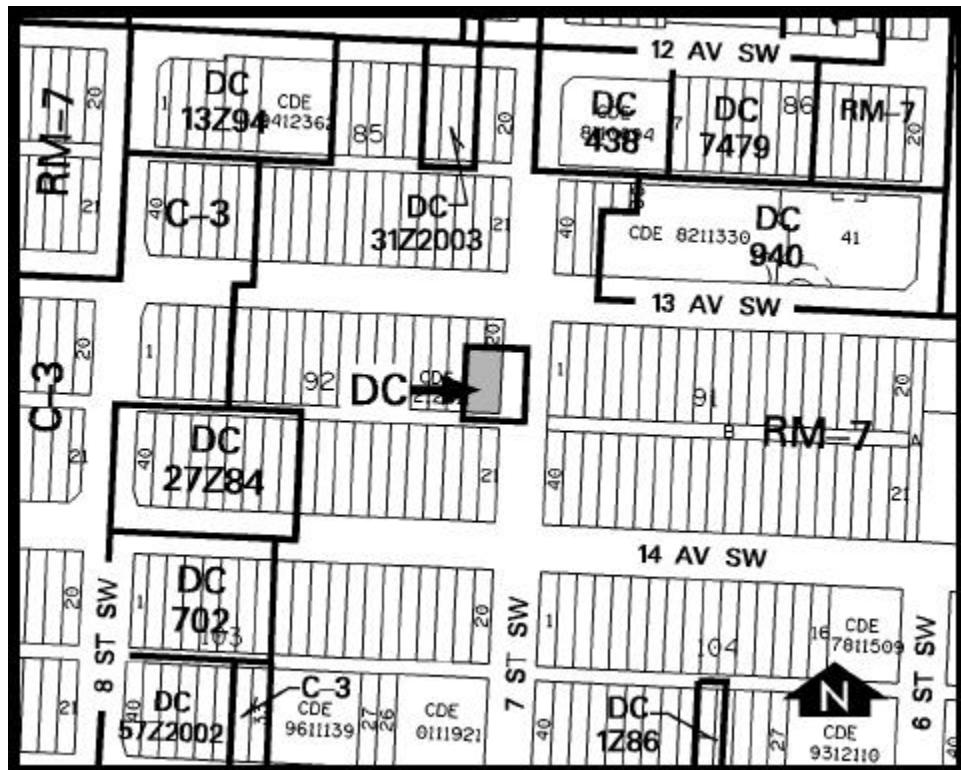


# Amendment # LOC2003-0070

## Bylaw # 82Z2003

Council Approved: September 15, 2003

### SCHEDULE B



#### DC DIRECT CONTROL DISTRICT

1. Land Use

The Permitted Land Use shall be for a comprehensively designed townhouse development only with the additional Permitted Use of Home Occupations - Class 1 and the Discretionary Use of Home Occupations - Class 2 (N.P.).

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-Dwelling District shall apply unless as otherwise noted below:

- (a) Density  
A maximum of six dwelling units.
- (b) Front Yard  
A minimum depth of 2.4 metres.
- (c) Side Yard  
A minimum width of 0.6 metres.
- (d) Rear Yard  
None required where the wall is constructed of non-combustible maintenance free materials. Otherwise a minimum depth of 1.9 metres.
- (e) Projections into the Front Yard  
A maximum of 1.2 metres.
- (f) Building Height  
A maximum of 17 metres.
- (g) Landscaped Area  
Front yard and adjacent City boulevard.
- (h) Development Plans  
Approval of this bylaw does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application. In considering such an application, the Development Authority shall ensure that the development permit plans conform substantially to the plan and renderings submitted to City council during its consideration of Bylaw 95Z98.