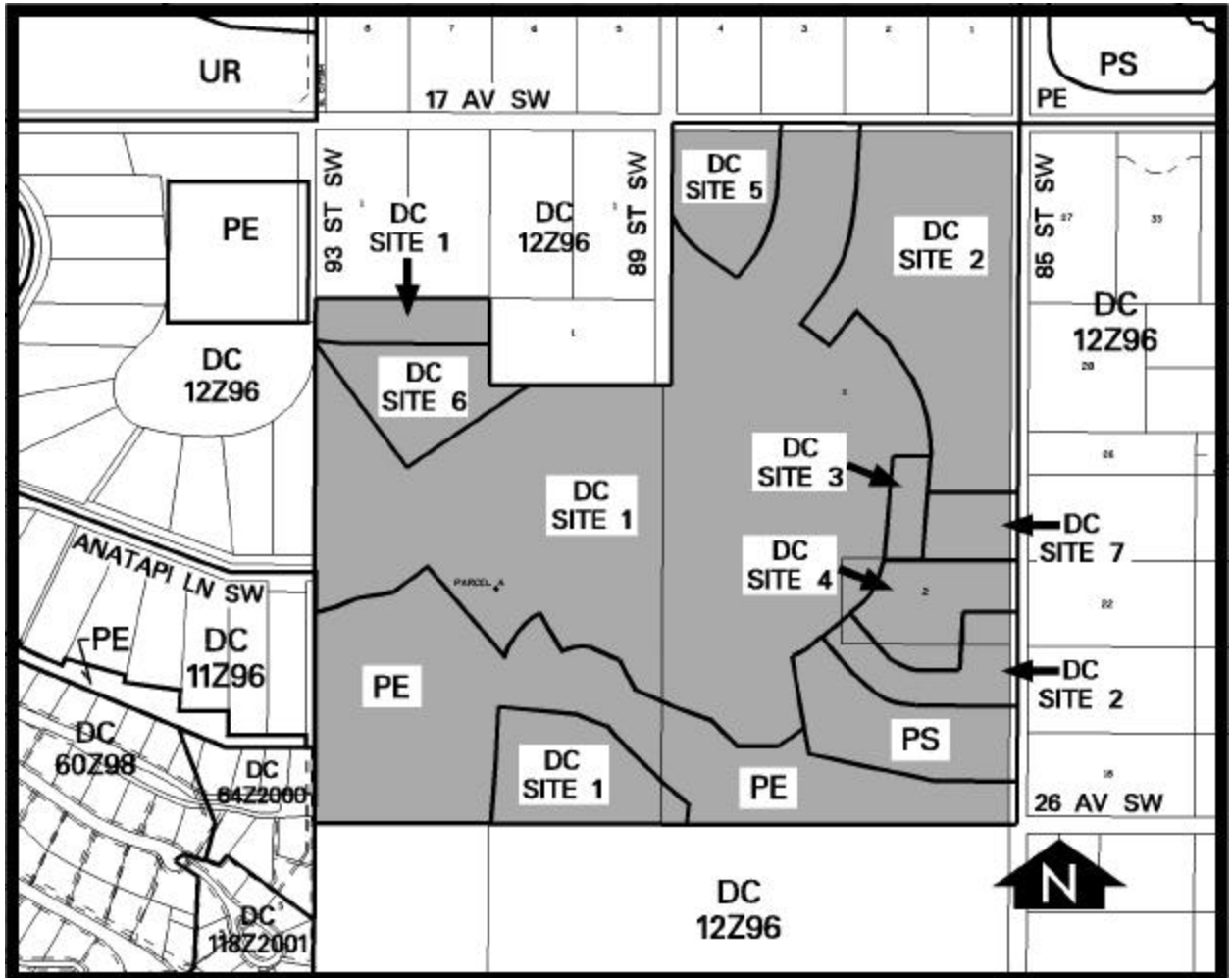


Amendment # LOC2002-0121
Bylaw # 95Z2003
Council Approval: 2004 January 19

SCHEDULE B



DC DIRECT CONTROL DISTRICT

Site 1 28.62 hectares ± (70.73 acres ±)

1. Land Use

The Permitted Uses of the R-1 Residential Single-Detached District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the R-1 Residential Single-Detached District of Bylaw 2P80 shall be

Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1 Residential Single-Detached District shall apply unless otherwise noted below:

(a) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;
- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
- (iii) Erosion and Sedimentation Control Plan;
- (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
- (v) Any other information as determined necessary by the Approving Authority.

(b) Slope adaptive development guidelines shall address the following:

- (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;
- (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
- (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
- (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;
- (v) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated

into the natural terrain. The amount of paving should be kept to a minimum; and

- (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (c) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.

Site 2 6.75 hectares ± (16.67 acres ±)

1. Land Use

The Permitted Uses of the R-1A Residential Narrow Lot Single-Detached District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the R-1A Residential Narrow Lot Single-Detached District of Bylaw 2P80 shall be Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U.).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-1A Residential Narrow Lot Single-Detached District shall apply unless otherwise noted below:

(a) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;
- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
- (iii) Erosion and Sedimentation Control Plan;
- (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
- (v) Any other information as determined necessary by the Approving Authority.

- (b) Slope adaptive development guidelines shall address the following:
 - (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;
 - (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
 - (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
 - (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;
 - (v) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated into the natural terrain. The amount of paving should be kept to a minimum; and
 - (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (c) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.

Site 3 0.50 hectares ± (1.24 acres ±)

1. Land Use

The Permitted Uses of the R-2A Residential Low Density District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the R-2A Residential Low Density District of Bylaw 2P80 shall be Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U.).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-2A Residential Low Density District shall apply unless otherwise noted below:

(a) Density

A maximum number of residential units to be 12.

(b) Building Design

- (i) The design, colour, character and appearance of the buildings shall be compatible with and complementary to the surrounding area; and
- (ii) Where the rear of lots are visible from Val Gardena Boulevard SW, the rear elevation shall be of a quality and articulation that is compatible with the multi-family residential lots/units across the street and enhances the pedestrian-friendly streetscape along Val Gardena Boulevard SW.

(c) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;
- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
- (iii) Erosion and Sedimentation Control Plan;
- (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
- (v) Any other information as determined necessary by the Approving Authority.

(d) Slope adaptive development guidelines shall address the following:

- (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;
- (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
- (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
- (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;
- (v) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated into the natural terrain. The amount of paving should be kept to a minimum; and

- (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (e) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.

Site 4 1.59 hectares ± (3.94 acres ±)

1. Land Use

The Permitted Uses of the R-M4/125 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the R-M4/125 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U.).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4/125 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below:

(a) Density

A maximum number of residential units to be 122.

(b) Comprehensive Concept Plan

A comprehensive concept plan for Site 4 shall be submitted with the initial development permit application to the satisfaction of the Development Authority, and shall form the basis for subsequent development permit application reviews. The comprehensive concept plan shall include:

- (i) A site plan including possible building footprints, parking areas, vehicular and pedestrian circulation routes;
- (ii) An overall pedestrian circulation plan that demonstrates the ability of pedestrians to move from the edges of the site to and between buildings, and to the adjacent open space system and commercial development;
- (iii) Residential buildings/lots/units shall front onto Val Gardena Boulevard SW to enhance the pedestrian-friendly streetscape of the area;

- (iv) A unifying architectural theme including details for, but not limited to, exterior finishing materials, colours, pedestrian and vehicle lighting, street furniture and roof screening;
- (v) Urban design elements such as low fencing shall be required to enhance pedestrian-friendly streetscapes along Val Gardena Boulevard SW; and
- (vi) A unifying landscape plan including details and standards for species type, size, number, and location. The landscape plan shall also include proposed standards for the treatment of all required yards, boulevards, on-site pedestrian circulation routes, and treatments proposed for interior on-site boulevard and road edge conditions.

(c) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;
- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
- (iii) Erosion and Sedimentation Control Plan;
- (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
- (v) Any other information as determined necessary by the Approving Authority.

(d) Slope adaptive development guidelines shall address the following:

- (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;
- (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
- (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
- (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;

- (v) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated into the natural terrain. The amount of paving should be kept to a minimum; and
 - (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (e) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.

Site 5 1.68 hectares ± (4.08 acres ±)

1. Land Use

The Permitted Uses of the R-M4/125 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the R-M4/125 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U.).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4/125 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below:

(a) Density

A maximum number of residential units to be 150.

(b) Restricted Development Area

No grading or stripping, landscaping or other development of any kind shall be allowed within an area 35 metres west of the east boundary and 60 metres north of the south boundary of Site 5.

(c) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;

- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
 - (iii) Erosion and Sedimentation Control Plan;
 - (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
 - (v) Any other information as determined necessary by the Approving Authority.
- (d) Slope adaptive development guidelines shall address the following:
- (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;
 - (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
 - (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
 - (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;
 - (v) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated into the natural terrain. The amount of paving should be kept to a minimum; and
 - (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (e) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.

Site 6 1.96 hectares ± (4.84 acres ±)

1. Land Use

The Permitted Uses of the R-2 Residential Low Density District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the R-2 Residential Low Density District of Bylaw 2P80 shall be Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U.).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-2 Residential Low Density District shall apply unless otherwise noted below:

(a) Comprehensive Development

- (i) For the purpose of this Bylaw, each bareland unit shall be considered a lot with regard to the application of minimum front, side and rear yard requirements of the R-2 District.
- (ii) Density
A maximum number of residential units to be 30.
- (iii) Restricted Development Area
No grading or stripping, landscaping or other development of any kind shall be allowed within 20 metres of the south-easterly boundary of Site 6.
- (iv) The Restricted Development Area shall be a part of the Common Property.

(b) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;
- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
- (iii) Erosion and Sedimentation Control Plan;
- (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
- (v) Any other information as determined necessary by the Approving Authority.

- (c) Slope adaptive development guidelines shall address the following:
 - (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;
 - (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
 - (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
 - (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;
 - (v) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated into the natural terrain. The amount of paving should be kept to a minimum; and
 - (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (d) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.

Site 7 0.79 hectares ± (1.95 acres ±)

1. Land Use

The Permitted Uses of the C-1A Local Commercial District of Bylaw 2P80 shall be Permitted Uses within a slope adaptive development. The Discretionary Uses of the C-1A Local Commercial District of Bylaw 2P80 shall be Discretionary Uses with the additional Discretionary Use of slope adaptive development (C.U.).

For the purpose of this Bylaw slope adaptive development means the development of an area on sloping land which is sensitive to the natural topographical and vegetative features of the landscape.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-1A Local Commercial District shall apply unless otherwise noted below:

(a) Comprehensive Concept Plan

A comprehensive concept plan for Site 7 shall be submitted with the initial development permit application to the satisfaction of the Development Authority, and shall form the basis for subsequent development permit application reviews. The comprehensive concept plan shall include:

- (i) A site plan including possible building footprints, parking areas, Vehicular and pedestrian circulation routes;
- (ii) An overall pedestrian circulation plan that demonstrates the ability of pedestrians to move from the edges of the site to and between buildings, and to the open space system. The pedestrian circulation plan shall provide for landscaping along internal pedestrian walkways;
- (iii) A unifying architectural theme including details for, but not limited to, exterior finishing materials, colours, pedestrian and vehicle lighting, street furniture and roof screening;
- (iv) Urban design elements such as low fencing shall be required to enhance pedestrian-friendly streetscapes along 85 Street SW and Val Gardena Boulevard SW where land uses such as automotive services and drive-through facilities are located;
- (v) A comprehensive signage package including proposed architectural details for freestanding, direction, and fascia signage; and
- (vi) A unifying landscape plan including details and standards for species type, size, number, and location. The landscape plan shall also include proposed standards for the treatment of all required yards, boulevards, on-site pedestrian circulation routes, and treatments proposed for interior on-site boulevard and road edge conditions.

(b) Slope Adaptive Development Guidelines

Prior to or concurrent with each tentative plan, a development permit for slope adaptive development guidelines shall be approved for dwellings and accessory buildings in a slope adaptive development that shall include, but not be limited to, the following:

- (i) Cross-sections which show final grading, retaining walls and the slope adaptive built form;
- (ii) Plans which show the cross-section locations and building envelopes. The building envelopes shall illustrate variations in setbacks to mitigate the visual impact of a “wall” or “string” of development along and against the slopes;
- (iii) Erosion and Sedimentation Control Plan;
- (iv) Building design guidelines which show building articulation, materials, and colours that blend with the natural environment; and
- (v) Any other information as determined necessary by the Approving Authority.

(c) Slope adaptive development guidelines shall address the following:

- (i) Retention of the natural landform as much as possible, without mass regrading to create level lots on existing slopes;

- (ii) The built form to step down the slope, utilizes natural grade variations through stepped, multi-level housing design. For steeper slopes (15 percent or greater), utilize terraces within the built form that are created by the multi-level stepped design for outdoor amenity space;
 - (iii) The site slope to be absorbed into the building massing, with exposed retaining walls having a maximum height of 1.2 metres (4 feet);
 - (iv) Development proposals to ensure that changes to the natural drainage pattern, ground water levels, landform stability and erosion potential is minimized;
 - (viii) Development proposals to ensure the maximum amount of natural vegetation is retained on site, with the built form sensitively integrated into the natural terrain. The amount of paving should be kept to a minimum; and
 - (vi) Building design, materials and retaining walls to blend with the natural setting. Variations in setbacks, building heights, orientation and grade levels are required to help mitigate the visual impact of a “wall” or “string” of development along and against the slopes.
- (d) All dwellings and accessory buildings shall comply with the slope adaptive development guidelines.