

BYLAW NUMBER 14D2014

**BEING A BYLAW OF THE CITY OF CALGARY
TO AMEND THE LAND USE BYLAW 1P2007
(LAND USE AMENDMENT LOC2013-0060)**

WHEREAS it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

AND WHEREAS Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26 as amended;

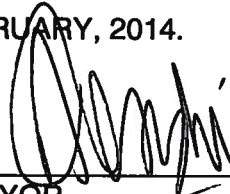
NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".
2. This Bylaw comes into force on the date it is passed.

READ A FIRST TIME THIS 10TH DAY OF FEBRUARY, 2014.

READ A SECOND TIME THIS 10TH DAY OF FEBRUARY, 2014.

READ A THIRD TIME THIS 10TH DAY OF FEBRUARY, 2014.



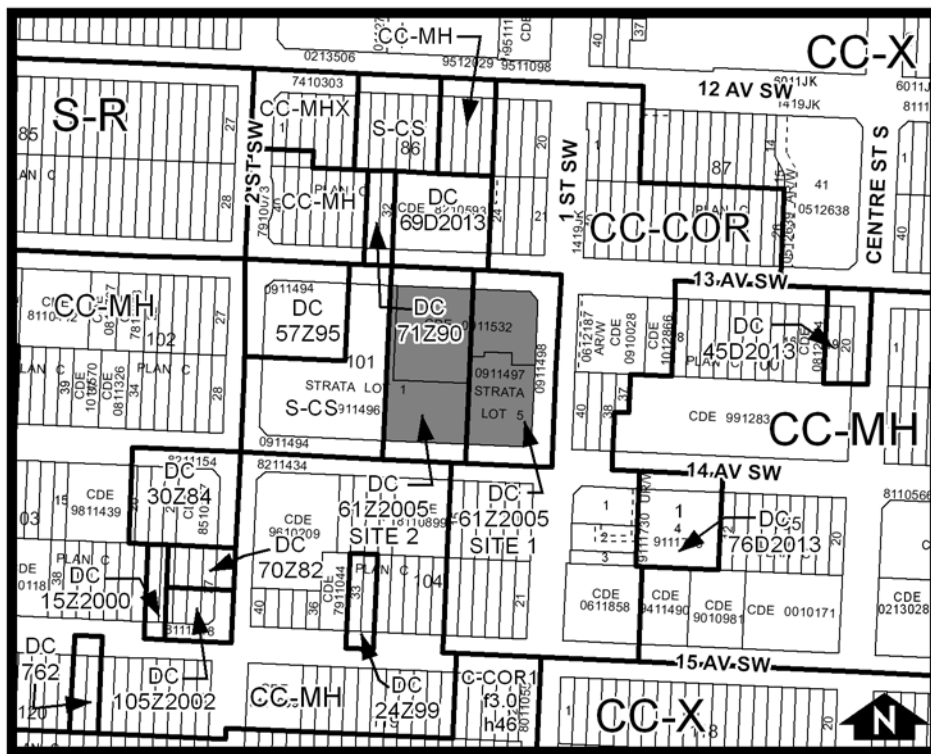
MAYOR
SIGNED THIS 10TH DAY OF FEBRUARY, 2014.



ACTING CITY CLERK
SIGNED THIS 10TH DAY OF FEBRUARY, 2014.

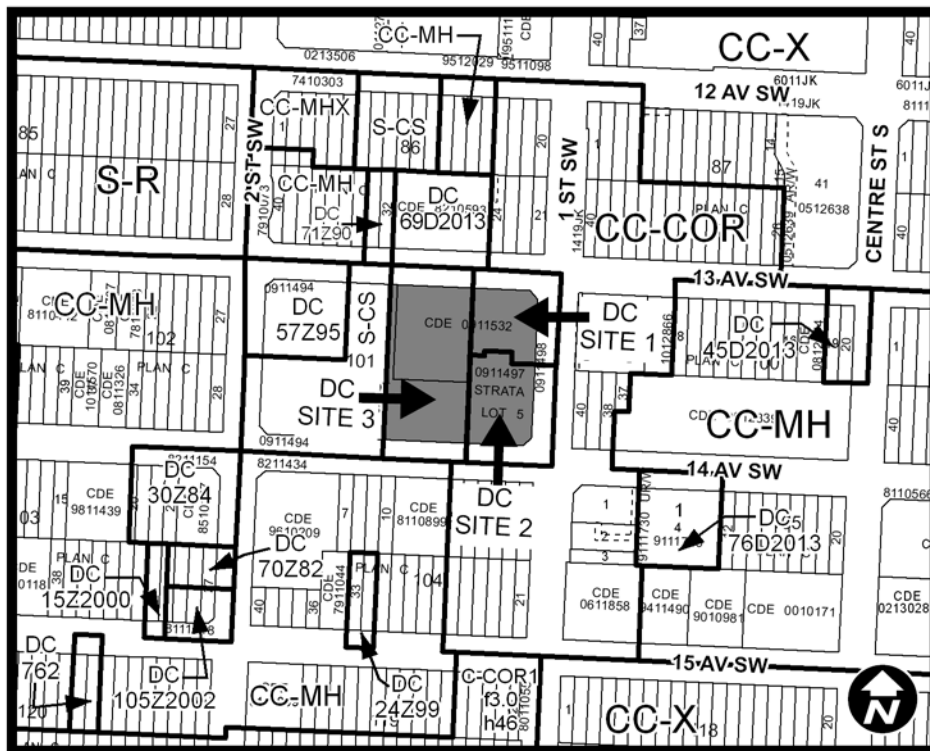
AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014

SCHEDULE A



AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014

SCHEDULE B



DC DIRECT CONTROL DISTRICT

Purpose

- 1 This Direct Control District is intended to:
 - (a) Recognize existing **development** on Site 1;
 - (b) allow for the **development** of a new residential tower; and
 - (c) allow for the **development** of a private parking structure underneath a **City** park.

**AMENDMENT LOC2013-0060
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Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

Defined Uses

- 4 In this Direct Control District:

- (a) **“Parking Lot – Structure (below grade)”** means a *use*:
 - (i) where **motor vehicle parking stalls** are provided for vehicles in a parking area designated in tiers of floors located entirely below **grade**.
- (b) **“Specialty Restaurant - Licensed”** means a *use*:
 - (i) where food is prepared and sold for consumption on the premises and may include the sale of prepared food for consumption off the premises;
 - (ii) where a specific license for the sale of liquor is issued by the Alberta Gaming and Liquor Commission, that allows minors on the premises at any time;
 - (iii) where the maximum **public area** is 375 square metres;
 - (iv) that may have a maximum of 10.0 square metres of **public area** used for the purpose of providing entertainment; and
 - (v) where **motor vehicle parking stalls** are not required;

Site 1(+0.132 hectares)

Application

- 5 The provisions in sections 6 through 10 apply only to Site 1.

Permitted Uses

- 6 The **permitted uses** of the Centre City Commercial Corridor District (CC-COR) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

Discretionary Uses

- 7 The **discretionary uses** of the Centre City Commercial Corridor District (CC-COR) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

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Bylaw 1P2007 District Rules

- 8 Unless otherwise specified, the rules of the Centre City Commercial Corridor District (CC-COR) of Bylaw 1P2007 apply in this Direct Control District.

Development Plans

- 9 Comprehensive plans must be submitted to the **Development Authority** as part of a **development permit** application. In considering such an application, the **Development Authority** must ensure the development plans conform with the plans and renderings attached to this bylaw as Schedule "C".

Change of Use

- 10 The **Development Authority** may consider a **development permit** application for a change of **use**.

Site 2 (+- 0.173 hectares)

Application

- 11 The provisions in sections 12 through 16 apply only to Site 2.

Permitted Uses

- 12 The **permitted uses** of the Centre City Commercial Corridor District (CC-COR) of Bylaw 1P2007 are the **permitted uses** in this Direct Control District with the addition of:
- (a) **Dwelling Unit;**
 - (b) **Office;** and
 - (c) **Specialty Restaurant – Licensed.**

Discretionary Uses

- 13 The **discretionary uses** of the Centre City Commercial Corridor District (CC-COR) of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the exception of:
- (a) **Dwelling Unit;** and
 - (b) **Office.**

Bylaw 1P2007 District Rules

- 14 Unless otherwise specified, the rules of the Centre City Commercial Corridor District (CC-COR) of Bylaw 1P2007 apply in this Direct Control District.

**AMENDMENT LOC2013-0060
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Development Plans

- 15 Comprehensive plans must be submitted to the ***Development Authority*** as part of a ***development permit*** application. In considering such an application, the ***Development Authority*** must ensure the development plans conform with the plans and renderings attached to this bylaw as Schedule "C".

Change of Use

- 16 The ***Development Authority*** may consider a ***development permit*** application for a change of ***use***.

Site 3 (+- 1.1 hectares)

Application

- 17 The provisions in sections 18 through 21 apply only to Site 3.

Permitted Uses

- 18 The ***permitted uses*** of the Special Purpose - Community Service (S-CS) District of Bylaw 1P2007 are the ***permitted uses*** in this Direct Control District.

Discretionary Uses

- 19 The ***discretionary uses*** of the Special Purpose - Community Service (S-CS) District of Bylaw 1P2007 are the ***discretionary uses*** in this Direct Control District with the addition of:
- (i) **Parking Lot – Structure (below grade)**

Bylaw 1P2007 District Rules

- 20 Unless otherwise specified, the rules of the Special Purpose - Community Service (S-CS) District of Bylaw 1P2007 apply in this Direct Control District.

Development Plans

- 21 Comprehensive plans must be submitted to the ***Development Authority*** as part of a ***development permit*** application. In considering such an application, the ***Development Authority*** must ensure the development plans conform with the plans and renderings attached to this bylaw as Schedule "C".

SCHEDULE C

UNION SQUARE

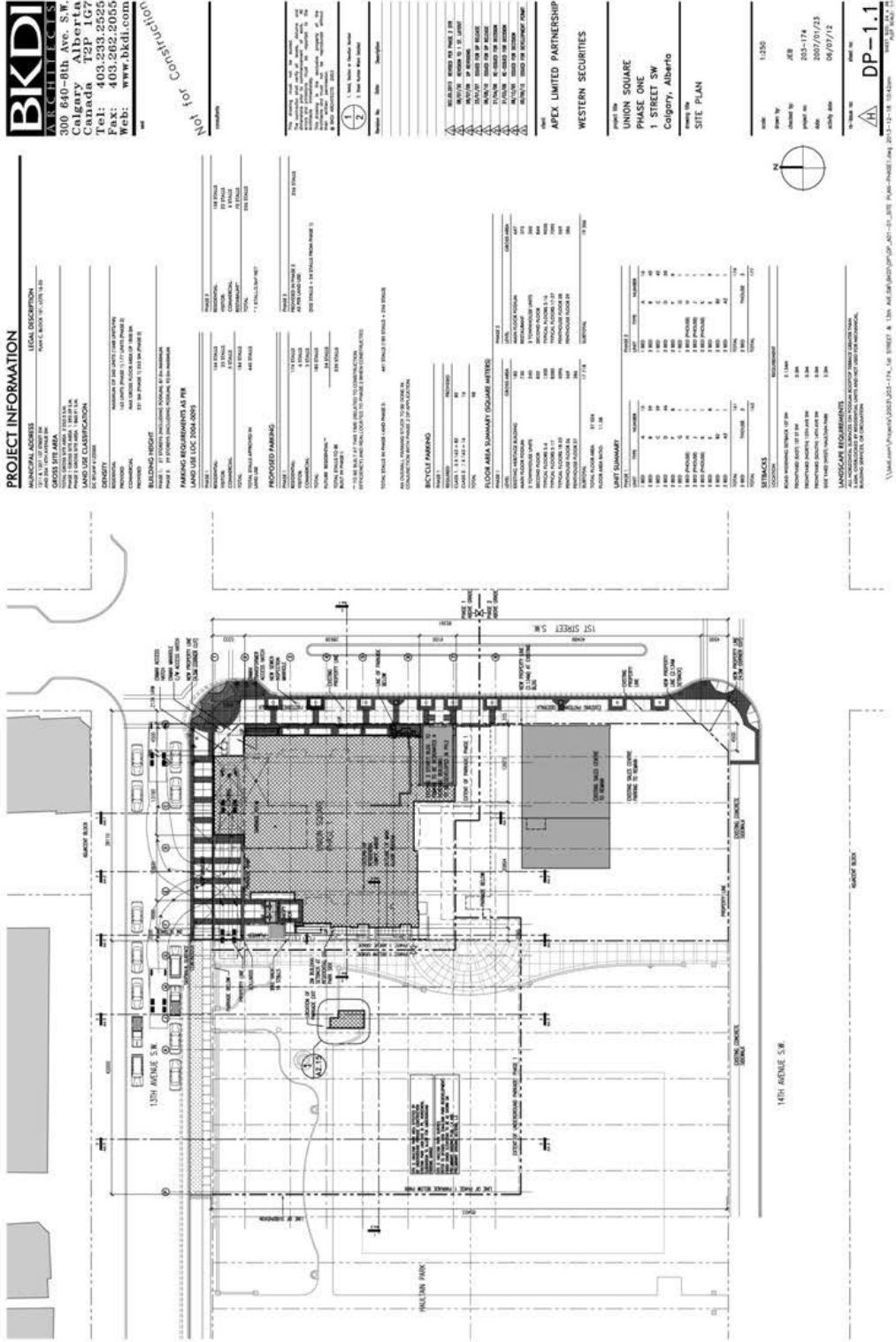


1st STREET & 13th AVENUE SW
CALGARY, ALBERTA



Volume No. _____
Set No. _____

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014



PROJECT INFORMATION

MUNICIPAL ADDRESS
1401 15TH AVENUE SW
CALGARY, ALBERTA T2M 0K8

LEGAL DESCRIPTION
PART C BLOCK 10, LOT 130

GRASSY SITE AREA
10,000 SQ. METERS

LAND USE CLASSIFICATION
COMMERCIAL

PROJECT INFORMATION
APPLICANT: APEX UNITED PARTNERSHIP
DESIGNER: BKDI ARCHITECTURE INC.

PROPOSED PARKING

TYPE	QUANTITY
STREET	10
OFF-STREET	10
TOTAL	20

PROPOSED LANDSCAPE

TYPE	QUANTITY
PLANTING	10
TOTAL	10

FLOOR AREA SUMMARY (SQUARE METERS)

FLOOR	AREA
GROUND FLOOR	10,000
FIRST FLOOR	10,000
SECOND FLOOR	10,000
THIRD FLOOR	10,000
ROOF	10,000
TOTAL	50,000

WESTERN SECURITIES

UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

SITE PLAN

DATE: 1:250

SCALE: 1:250

PROJECT NO: 2013-174

DATE: 2013/01/23

DATE: 06/20/12

PROJECT NO: DP-1.1

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

BKDI
ARCHITECTS
300 640-8th Ave. S.W.
Calgary Alberta
Canada T2P 1G7
Tel: 403-243-2155
Fax: 403-262-2055
Web: www.bkdi.com

FOR Construction

DATE: 01/11/2017
PROJECT NO: 10000
SHEET NO: 10000
SHEET TITLE: FLOOR PLAN - P3

- 1. SECURITY: WALKWAY FOR PUBLIC USE
- 2. SECURITY: WALKWAY FOR PRIVATE USE
- 3. SECURITY: WALKWAY FOR SERVICE
- 4. SECURITY: WALKWAY FOR SERVICE
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APEX LIMITED PARTNERSHIP
WESTERN SECURITIES

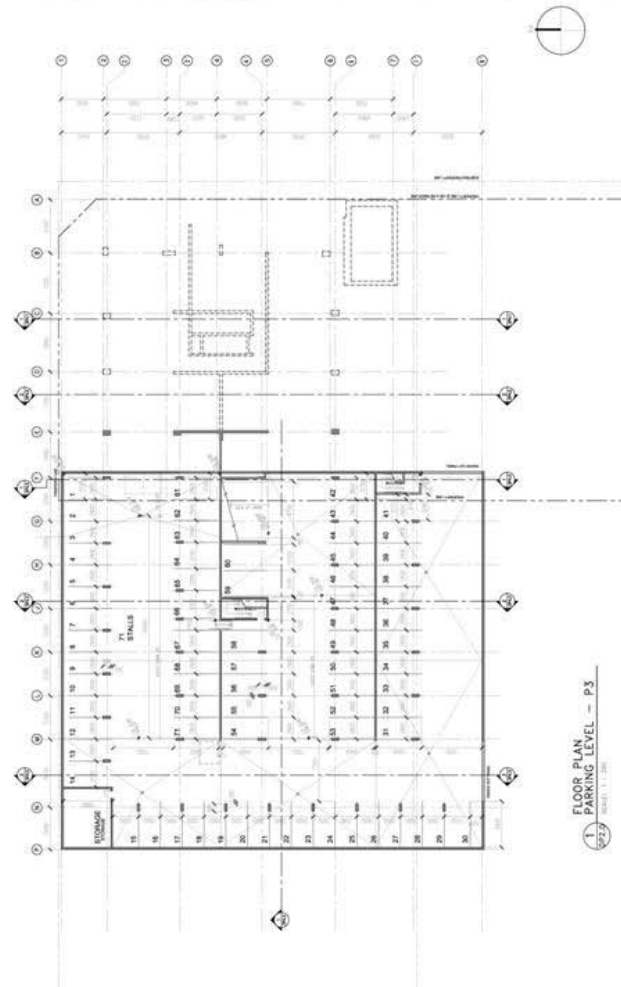
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**UNION SQUARE
PHASE ONE
1 STREET SW**
Calgary, Alberta

SHEET NO: 10000
PARKING LEVEL - P3

DATE: 01/11/2017
PROJECT NO: 10000
SHEET NO: 10000
SHEET TITLE: FLOOR PLAN - P3

DATE: 01/11/2017
PROJECT NO: 10000
SHEET NO: 10000
SHEET TITLE: FLOOR PLAN - P3

DATE: 01/11/2017
PROJECT NO: 10000
SHEET NO: 10000
SHEET TITLE: FLOOR PLAN - P3



FLOOR PLAN - P3
P3.1

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

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Fax: 403-262-2055
Web: www.bkdi.com

FOR Construction

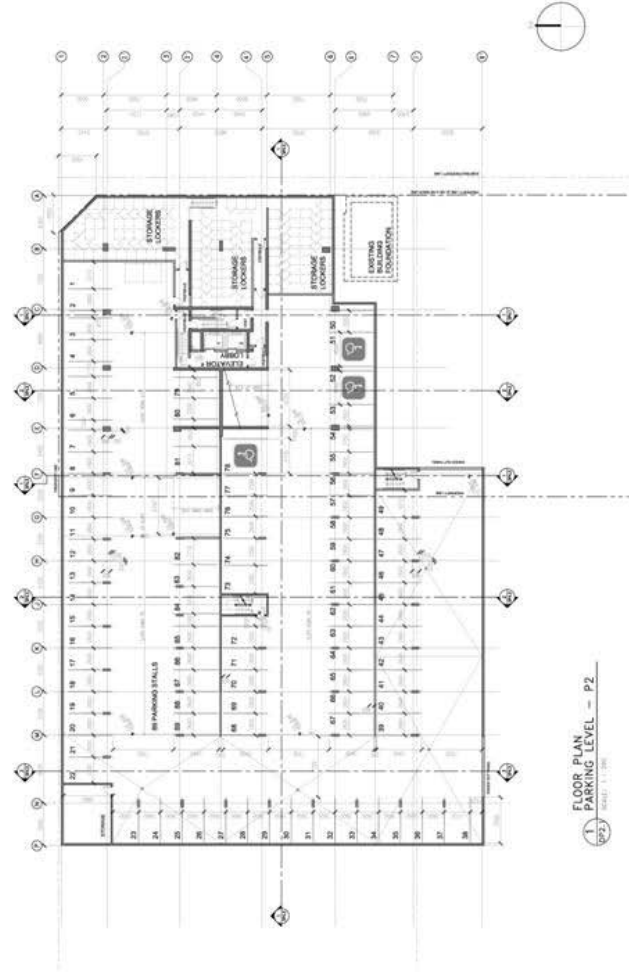
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DATE: 01/13/2014

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10. REVISED PER PANEL 10 PER

APEX LIMITED PARTNERSHIP
WESTERN SECURITIES
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta
PARKING LEVEL - P2

PROJECT NO. 11020
DATE: 01/13/2014
PROJECT NO. 11020
DATE: 01/13/2014
PROJECT NO. 11020
DATE: 01/13/2014

DP-2.1



FLOOR PLAN
PARKING LEVEL - P2
SCALE: 1:100

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

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2040-8011 Ave. S.W.
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Canada T2P 1G7
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NO. 101 CONTINUED

DATE: 10/20/13
PROJECT NO: 101-101-101-101
DRAWING NO: 101-101-101-101

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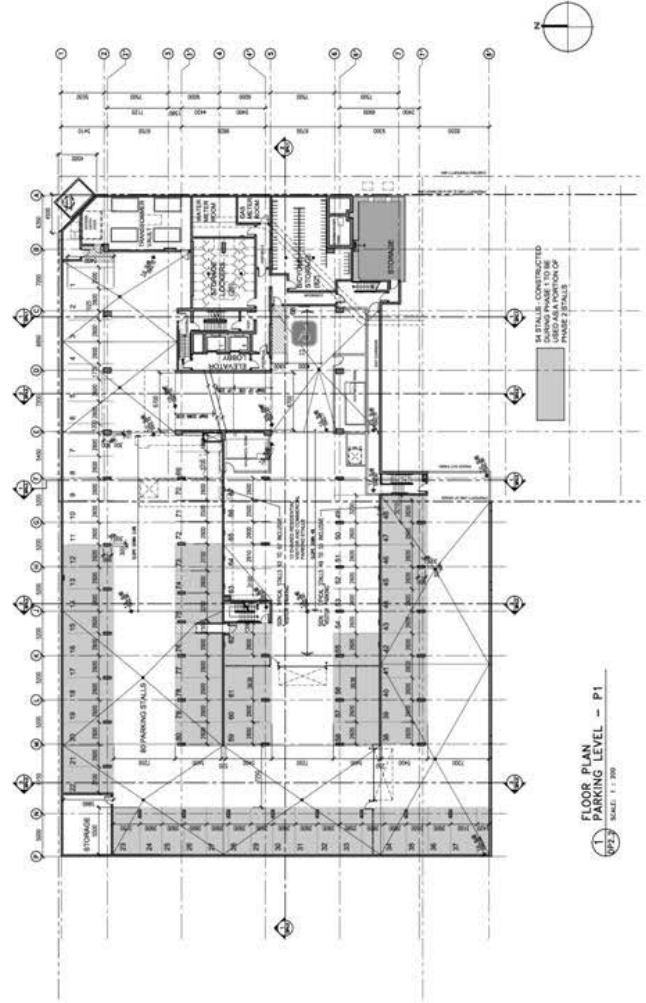
APEX LIMITED PARTNERSHIP
WESTERN SECURITIES

PROJECT NO:
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

PARKING LEVEL - P1

SCALE: 1:200
DATE: JEB
PROJECT NO: 203-174
DATE: OCT. 01, 2009

DP-2.2



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

BKDI
ARCHITECTURE
300-640-814 Ave. SW,
Calgary, Alberta
Canada T2P 1G7
Tel: 403.233.2525
Fax: 403.262.2055
Web: www.bkdi.com

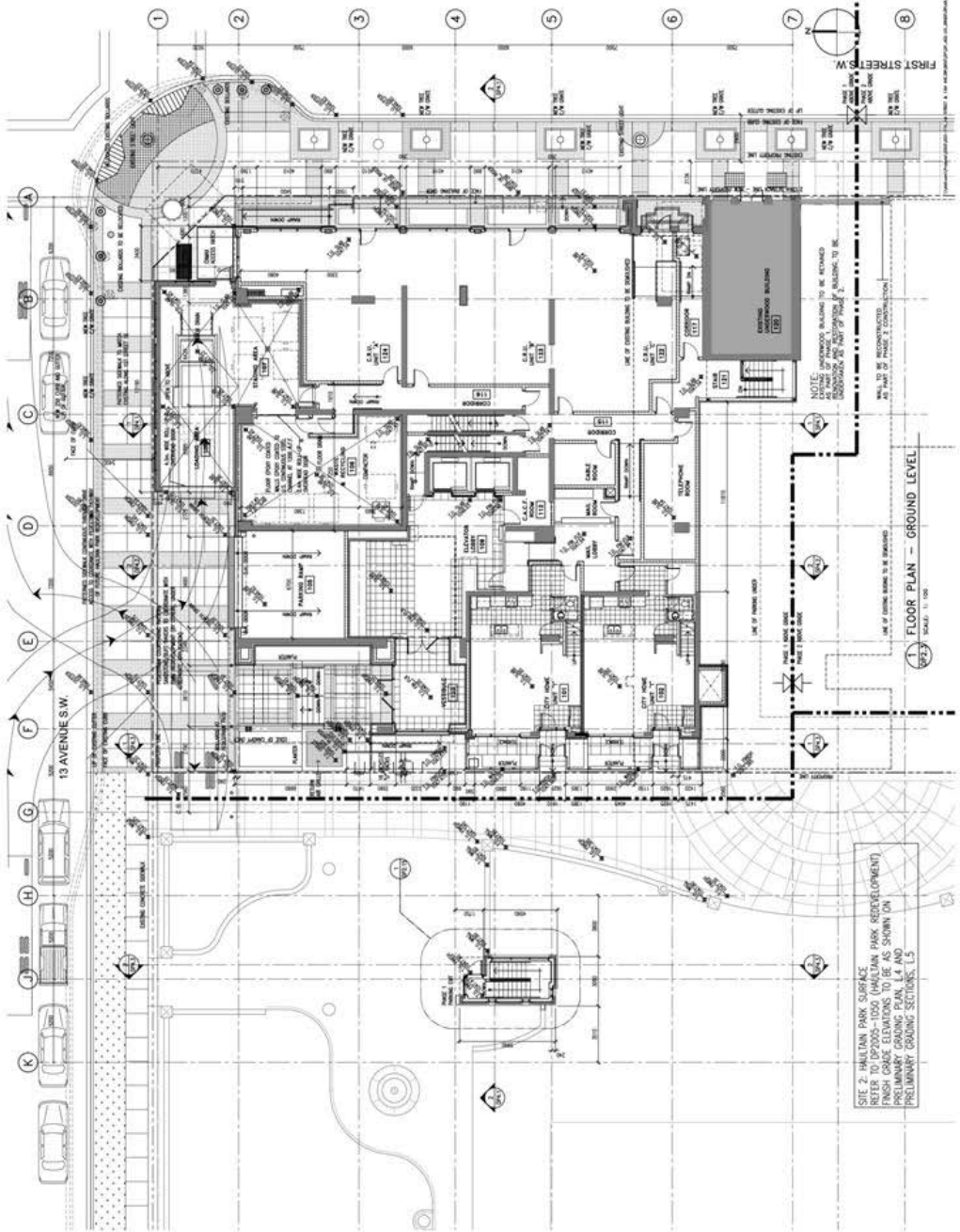
Not for Construction

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PROJECT NO. 11100
 WESTERN SECURITIES
 UNION SQUARE
 PHASE ONE
 1 STREET SW
 Calgary, Alberta

DATE: 11/11/00
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 CHECKED BY: 203-174
 PROJECT NO. JANUARY 23, 2007
 DATE: 203-174
 SHEET NO. 11100
 SHEET TITLE: FLOOR PLAN - GROUND

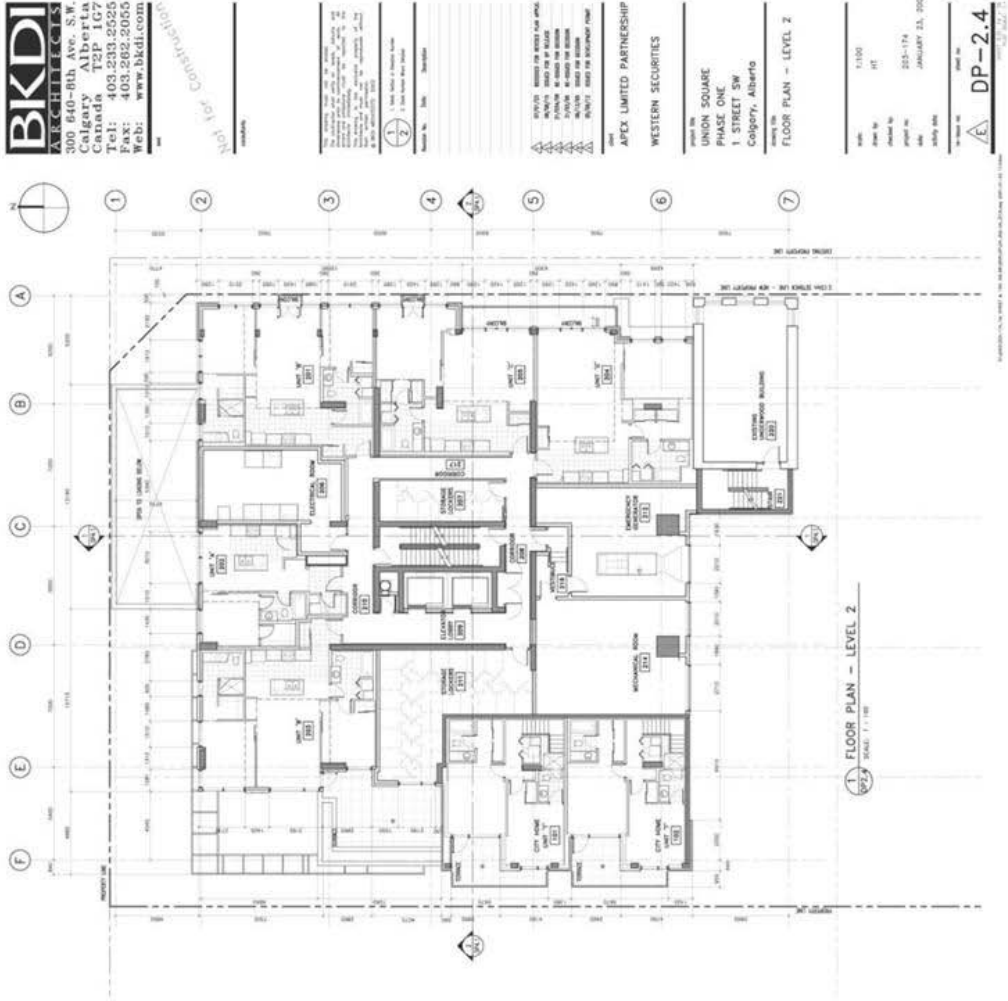
SCALE: 1/8" = 1'-0"
 PROJECT NO. 11100
 SHEET NO. DP-2.3



SITE 2: HAULTAIN PARK SURFACE
 REFER TO DP2005-1000 (HAULTAIN PARK REDEVELOPMENT)
 FINISH GRADE ELEVATIONS TO BE AS SHOWN ON
 PRELIMINARY GRADING SECTIONS 1.5

FLOOR PLAN - GROUND LEVEL
 SCALE: 1/8" = 1'-0"

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



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200-9000 90th St.
Calgary, Alberta
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Tel: 403.233.2525
Fax: 403.282.2055
Web: www.bkdi.com

NOT FOR CONSTRUCTION

Symbol	Description
(1)	1 - Note Refer to Drawing
(2)	2 - Note Refer to Drawing

APEX LIMITED PARTNERSHIP

WESTERN SECURITIES

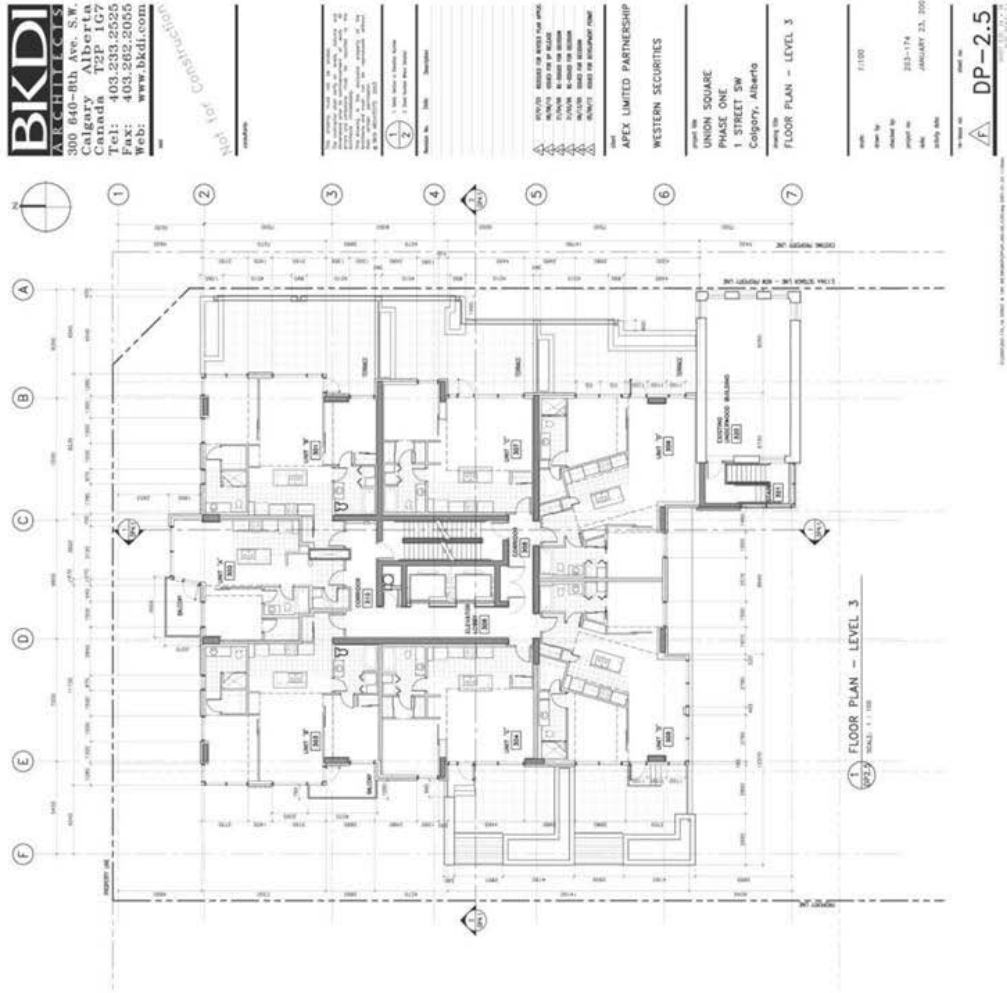
**UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta**

FLOOR PLAN - LEVEL 2

DATE:	1/1/00
SCALE:	1/4" = 1'-0"
PROJECT NO.:	200-174
DATE:	JANUARY 23, 2007
BY:	[Signature]
CHECKED BY:	[Signature]

DP-2.4

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



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1600-80th St.
Calgary, Alberta
Canada T2P 1G7
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Fax: 403.282.2055
Web: www.bkdi.com

100% FOR CONSTRUCTION

Project No. _____
Sheet No. _____ of _____
Revision No. _____

- ▲ EXISTING WALLS TO REMAIN FOR CONSTRUCTION
- ▲ EXISTING WALLS TO REMAIN FOR FINISH
- ▲ EXISTING WALLS TO BE DEMOLISHED
- ▲ EXISTING WALLS TO BE RECONSTRUCTED
- ▲ EXISTING WALLS TO BE RECONSTRUCTED WITH FINISH
- ▲ EXISTING WALLS TO BE RECONSTRUCTED WITH FINISH AND PARTITION
- ▲ EXISTING WALLS TO BE RECONSTRUCTED WITH FINISH AND PARTITION AND GLAZING
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APEX LIMITED PARTNERSHIP
WESTERN SECURITIES

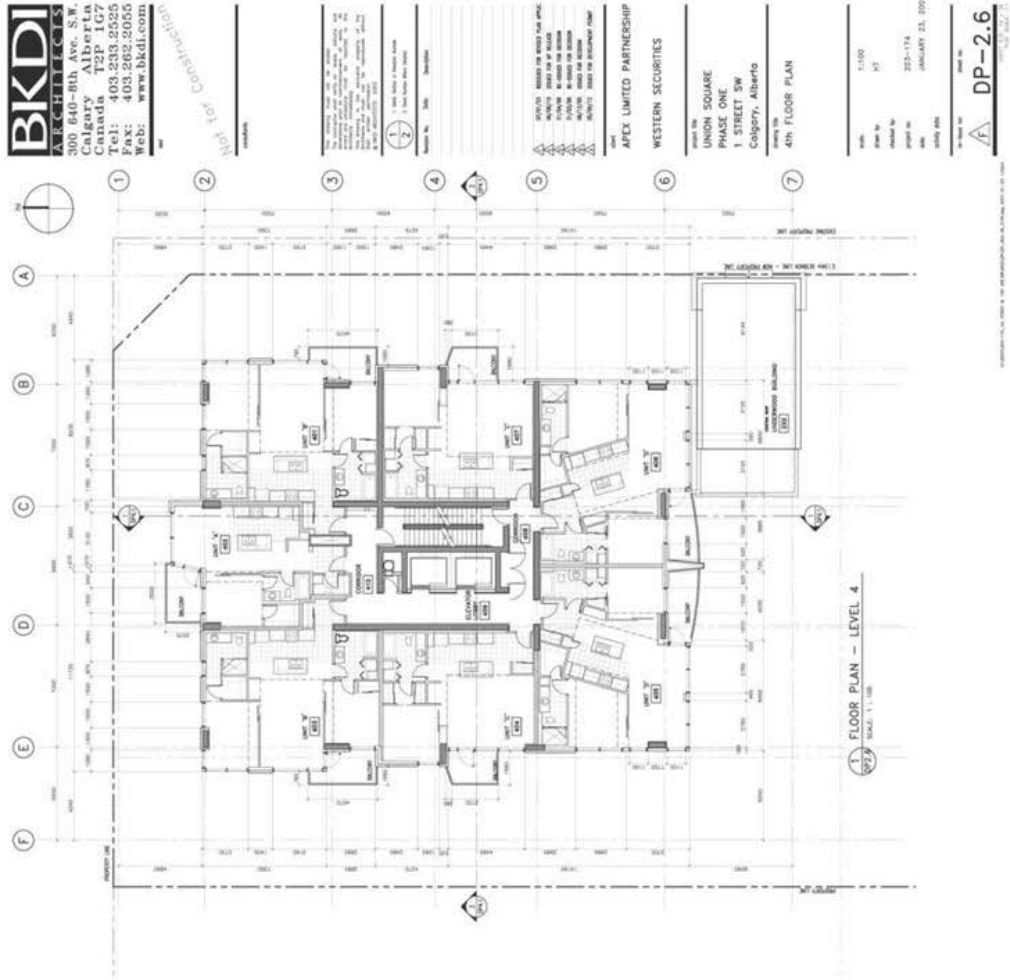
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

FLOOR PLAN - LEVEL 3

Scale: 1/8" = 1'-0"
Date: JANUARY 23, 2007
Project No: 2007-174

DP-2.5

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



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Fax: 403-262-2055
Web: www.bkdi.com

NOT FOR CONSTRUCTION

REVISIONS

No.	Date	Description
1		
2		

UNION SQUARE PHASE ONE
1 STREET SW
Calgary, Alberta

APFX LIMITED PARTNERSHIP
WESTERN SECURITIES
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

4TH FLOOR PLAN

DATE: 11/10/07
SCALE: AS SHOWN
PROJECT NO: 200-174
DRAWING NO: 4040007-21, 2007
DRAWN BY: [Signature]
CHECKED BY: [Signature]

DP-2.6

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

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Calgary, Alberta
Canada T2P 1G7
Tel: 403.233.2525
Fax: 403.282.2055
Web: www.bkdi.com

CONSULTING
FOR CONSTRUCTION

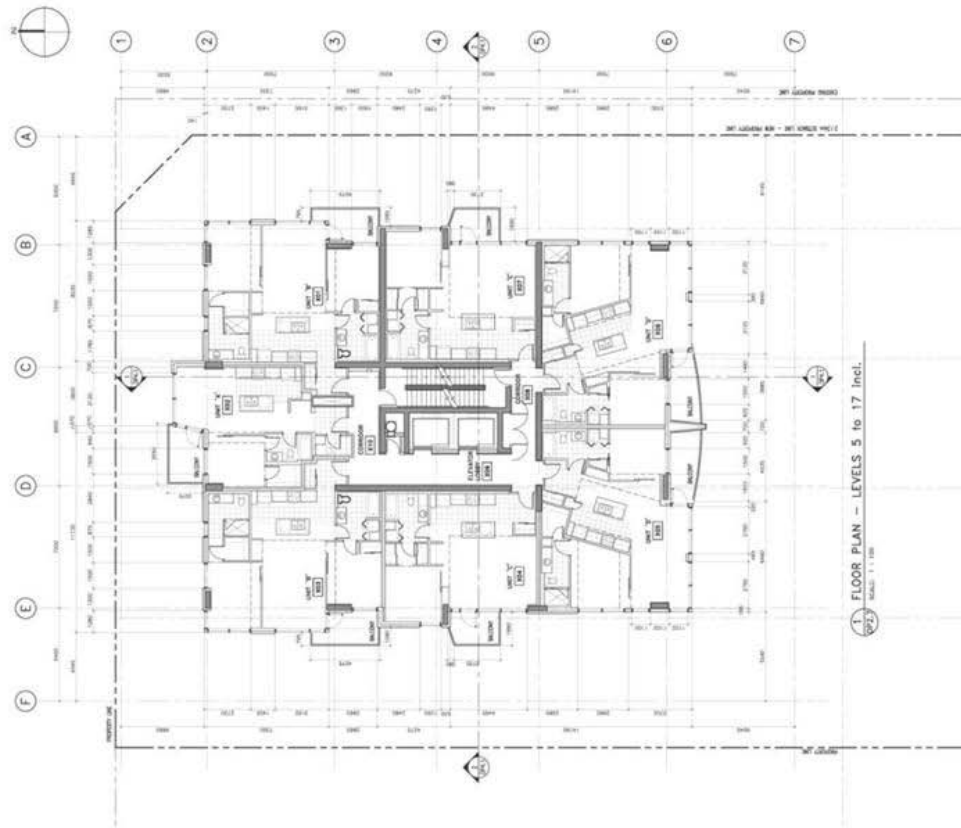
APEX LIMITED PARTNERSHIP
WESTERN SECURITIES
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

FLOOR PLAN - 5 TO 17

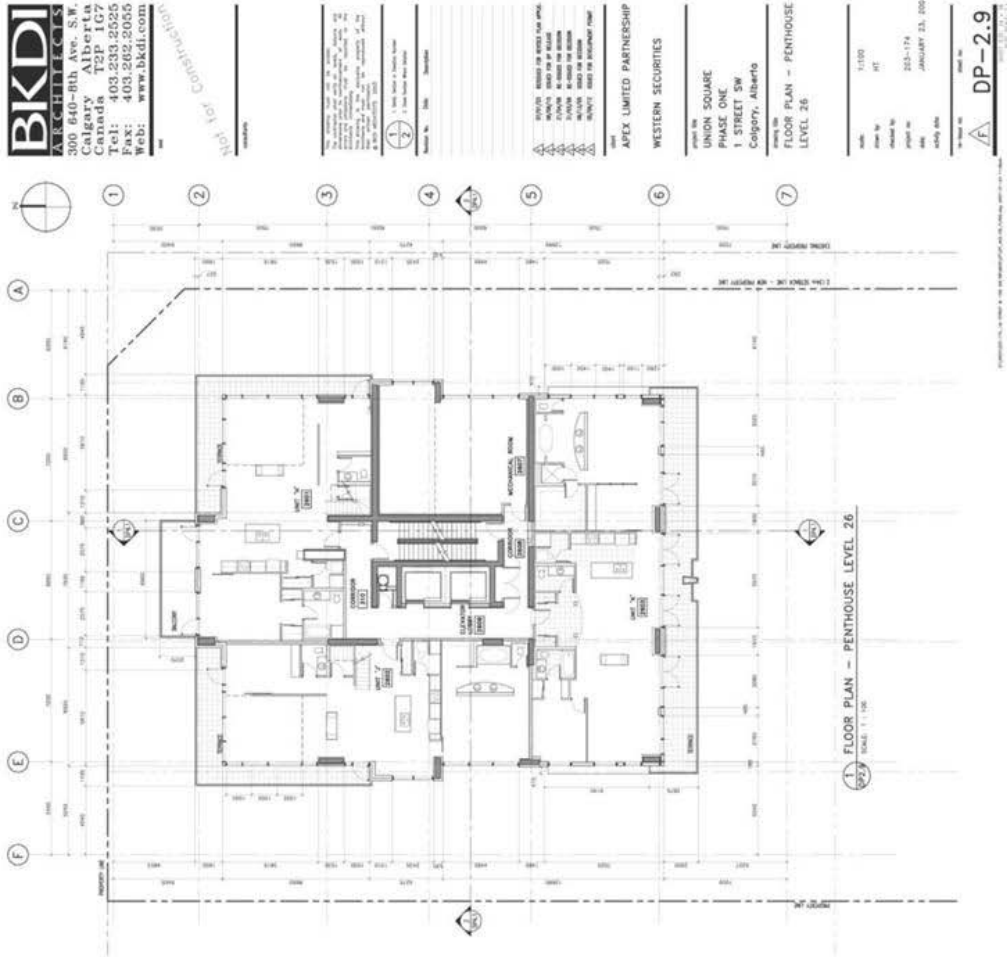
DATE: 11/09
DRAWN BY: [Signature]
CHECKED BY: [Signature]
PROJECT NO: 200-174
DATE: JANUARY 23, 2007

SCALE: 1/8" = 1'-0"

DP-2.7



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



BKDI
ARCHITECTS
1440 80th St.
Calgary, Alberta
Canada T2P 1G7
Tel: 403.233.2525
Fax: 403.262.2055
Web: www.bkdi.com

FOR CONSTRUCTION

DATE: 1/23/07
PROJECT NO: 100-174
SHEET NO: 26

UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

APEX LIMITED PARTNERSHIP
WESTERN SECURITIES

FLOOR PLAN - PENTHOUSE
LEVEL 26

DATE: 1/10/07
DRAWN BY: JET
CHECKED BY: JET
PROJECT NO: 100-174
SHEET NO: 26
DATE: JANUARY 23, 2007

DP-2.9

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

BKDI
ARCHITECTS
300 640-8th Ave. S.W.
Calgary Alberta
Canada T2P 1G7
Tel: 403.233.2525
Fax: 403.282.2055
Web: www.bkdi.com

NOT FOR CONSTRUCTION

THIS DOCUMENT, WHICH MAY BE A REVISION OF A PREVIOUS EDITION, IS THE PROPERTY OF BKDI ARCHITECTS. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED, COPIED, EITHER WHOLLY OR IN PART, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BKDI ARCHITECTS.

1. 1.000 - 1.000
2. 1.000 - 1.000

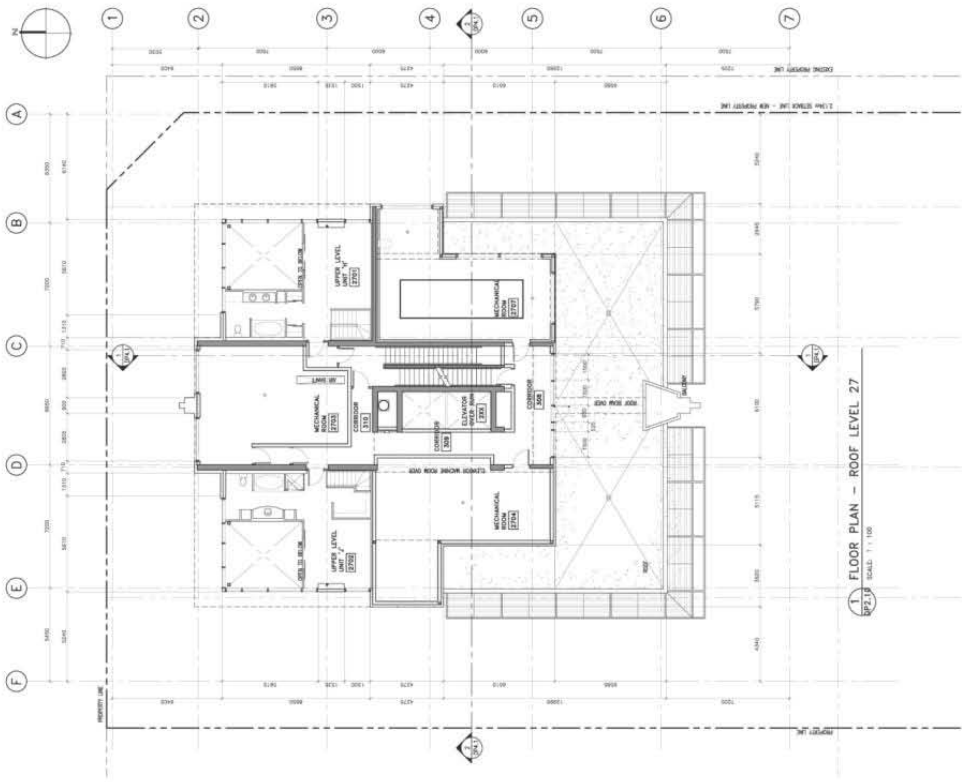
Name: _____ Title: _____

PROJECT: APEX LIMITED PARTNERSHIP
WESTERN SECURITIES
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

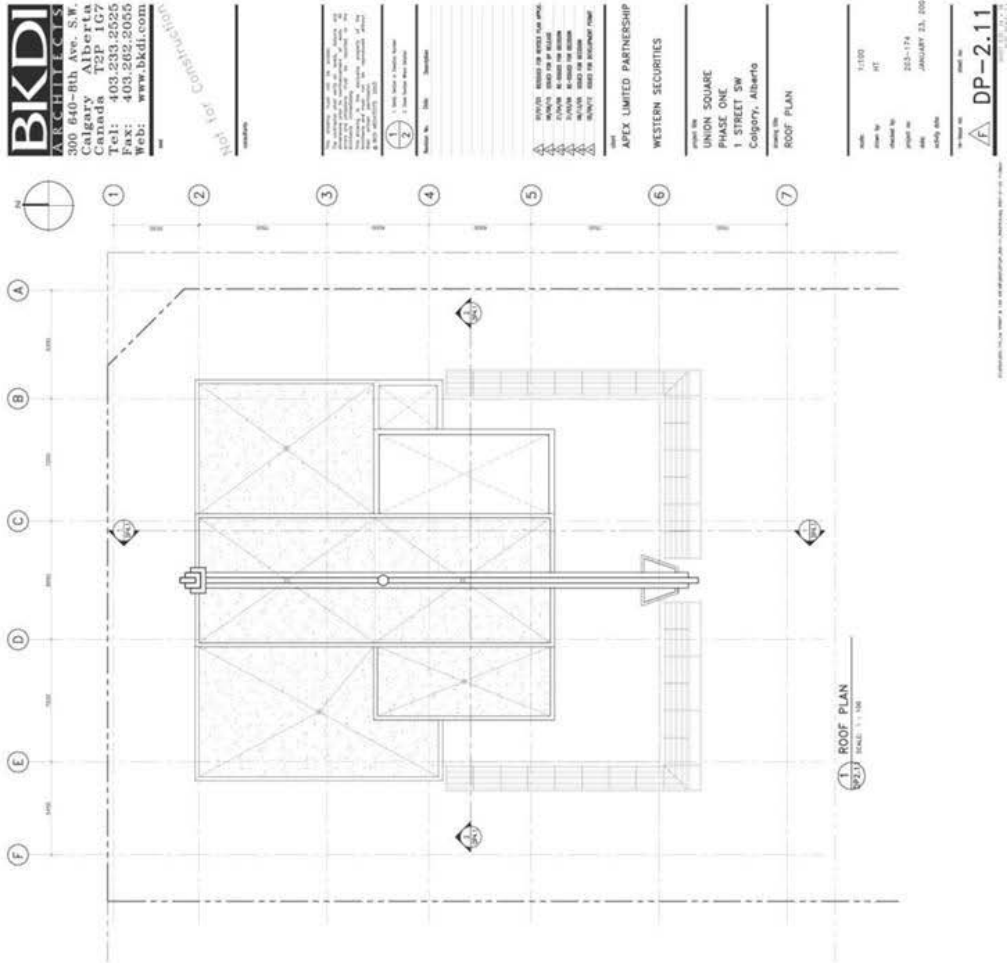
FLOOR PLAN - LEVEL 27
MECHANICAL FLOOR
ELEVATOR MACHINE ROOM

DATE: 1/1/00
DRAWN BY: JHT
CHECKED BY: _____
PROJECT NO: 203-174
DATE: JANUARY 23, 2007
SCALE: AS SH.

DP-2.10



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

BKDI
ARCHITECTS
1440-80th St. N.
Calgary, Alberta
Canada T2P 1G7
Tel: 403-233-2525
Fax: 403-262-2055
Web: www.bkdi.com

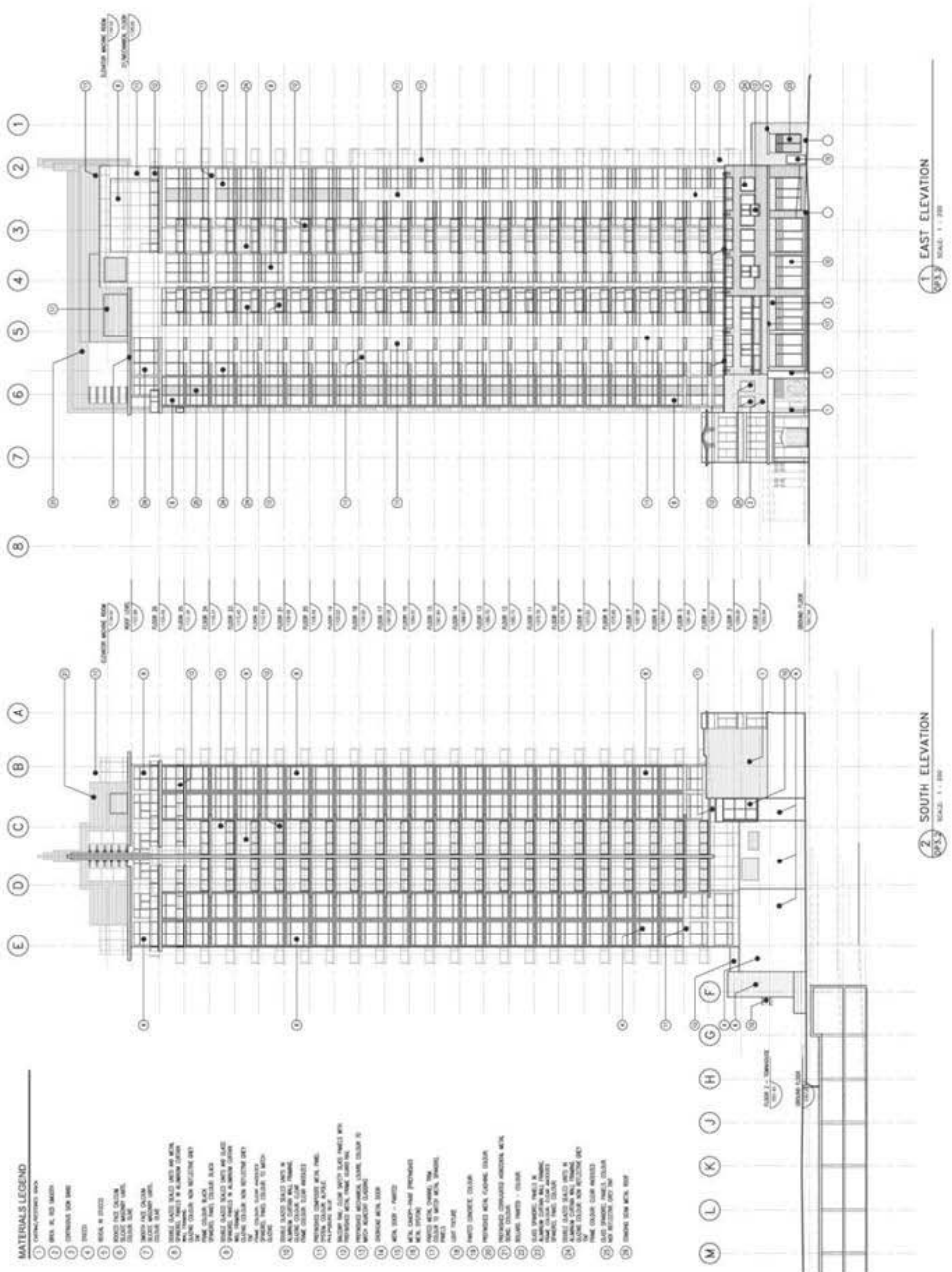
CONSTRUCTION
FOR JOB

DATE: 11/11/14
PROJECT: UNION SQUARE PHASE ONE
DRAWING NO: 2013-174
DATE: JANUARY 23, 2017
SHEET NO: 11/11/14

CLIENT: WESTERN SECURITIES
PROJECT: UNION SQUARE PHASE ONE
1 STREET SW
CALGARY, ALBERTA

DATE: 11/11/14
PROJECT: 2013-174
DATE: JANUARY 23, 2017
SHEET NO: 11/11/14

SCALE: 1:100
PROJECT: 2013-174
DATE: JANUARY 23, 2017
SHEET NO: 11/11/14



MATERIALS LEGEND

- 1 CONCRETE
- 2 BRICK
- 3 GLASS
- 4 METAL
- 5 WOOD
- 6 STONE
- 7 TERRAZZO
- 8 CERAMIC TILE
- 9 PAINT
- 10 FINISH
- 11 ROOFING
- 12 INSULATION
- 13 MECHANICAL
- 14 ELECTRICAL
- 15 PLUMBING
- 16 FLOORING
- 17 WALLS
- 18 CEILING
- 19 DOORS
- 20 WINDOWS
- 21 STAIRS
- 22 ELEVATOR
- 23 SIGNAGE
- 24 LANDSCAPE
- 25 FURNITURE
- 26 LIGHTING
- 27 SECURITY
- 28 ACCESSIBILITY
- 29 OTHER

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

BKDI
ARCHITECTS
100-8016 St. S.E.
Calgary, Alberta
Canada T2P 1G7
Tel: 403.243.2525
Fax: 403.242.2055
Web: www.bkdi.com

NON-CONTRIBUTION

1. The owner shall provide the following information to the City of Calgary:

- 1.1. A copy of the approved building permit for the existing building.
- 1.2. A copy of the approved building permit for the proposed building.
- 1.3. A copy of the approved building permit for the proposed building.
- 1.4. A copy of the approved building permit for the proposed building.
- 1.5. A copy of the approved building permit for the proposed building.
- 1.6. A copy of the approved building permit for the proposed building.
- 1.7. A copy of the approved building permit for the proposed building.
- 1.8. A copy of the approved building permit for the proposed building.
- 1.9. A copy of the approved building permit for the proposed building.
- 1.10. A copy of the approved building permit for the proposed building.

2. The owner shall provide the following information to the City of Calgary:

- 2.1. A copy of the approved building permit for the existing building.
- 2.2. A copy of the approved building permit for the proposed building.
- 2.3. A copy of the approved building permit for the proposed building.
- 2.4. A copy of the approved building permit for the proposed building.
- 2.5. A copy of the approved building permit for the proposed building.
- 2.6. A copy of the approved building permit for the proposed building.
- 2.7. A copy of the approved building permit for the proposed building.
- 2.8. A copy of the approved building permit for the proposed building.
- 2.9. A copy of the approved building permit for the proposed building.
- 2.10. A copy of the approved building permit for the proposed building.

3. The owner shall provide the following information to the City of Calgary:

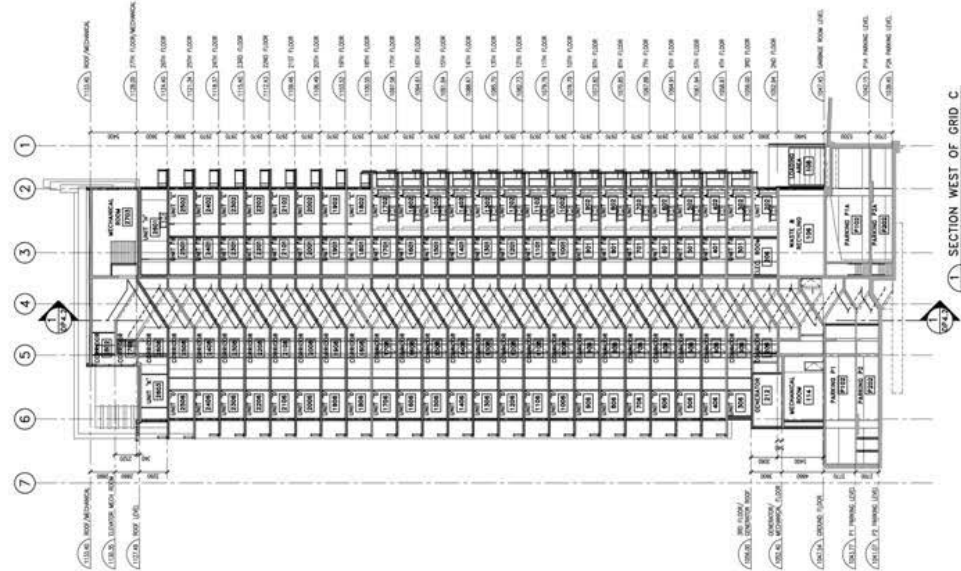
- 3.1. A copy of the approved building permit for the existing building.
- 3.2. A copy of the approved building permit for the proposed building.
- 3.3. A copy of the approved building permit for the proposed building.
- 3.4. A copy of the approved building permit for the proposed building.
- 3.5. A copy of the approved building permit for the proposed building.
- 3.6. A copy of the approved building permit for the proposed building.
- 3.7. A copy of the approved building permit for the proposed building.
- 3.8. A copy of the approved building permit for the proposed building.
- 3.9. A copy of the approved building permit for the proposed building.
- 3.10. A copy of the approved building permit for the proposed building.

4. The owner shall provide the following information to the City of Calgary:

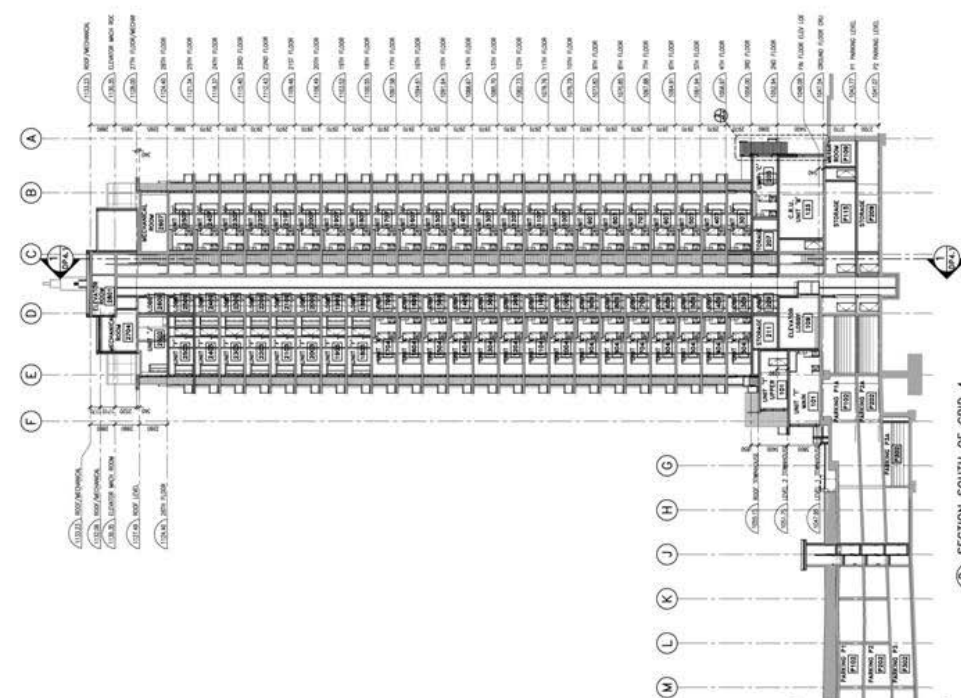
- 4.1. A copy of the approved building permit for the existing building.
- 4.2. A copy of the approved building permit for the proposed building.
- 4.3. A copy of the approved building permit for the proposed building.
- 4.4. A copy of the approved building permit for the proposed building.
- 4.5. A copy of the approved building permit for the proposed building.
- 4.6. A copy of the approved building permit for the proposed building.
- 4.7. A copy of the approved building permit for the proposed building.
- 4.8. A copy of the approved building permit for the proposed building.
- 4.9. A copy of the approved building permit for the proposed building.
- 4.10. A copy of the approved building permit for the proposed building.

5. The owner shall provide the following information to the City of Calgary:

- 5.1. A copy of the approved building permit for the existing building.
- 5.2. A copy of the approved building permit for the proposed building.
- 5.3. A copy of the approved building permit for the proposed building.
- 5.4. A copy of the approved building permit for the proposed building.
- 5.5. A copy of the approved building permit for the proposed building.
- 5.6. A copy of the approved building permit for the proposed building.
- 5.7. A copy of the approved building permit for the proposed building.
- 5.8. A copy of the approved building permit for the proposed building.
- 5.9. A copy of the approved building permit for the proposed building.
- 5.10. A copy of the approved building permit for the proposed building.

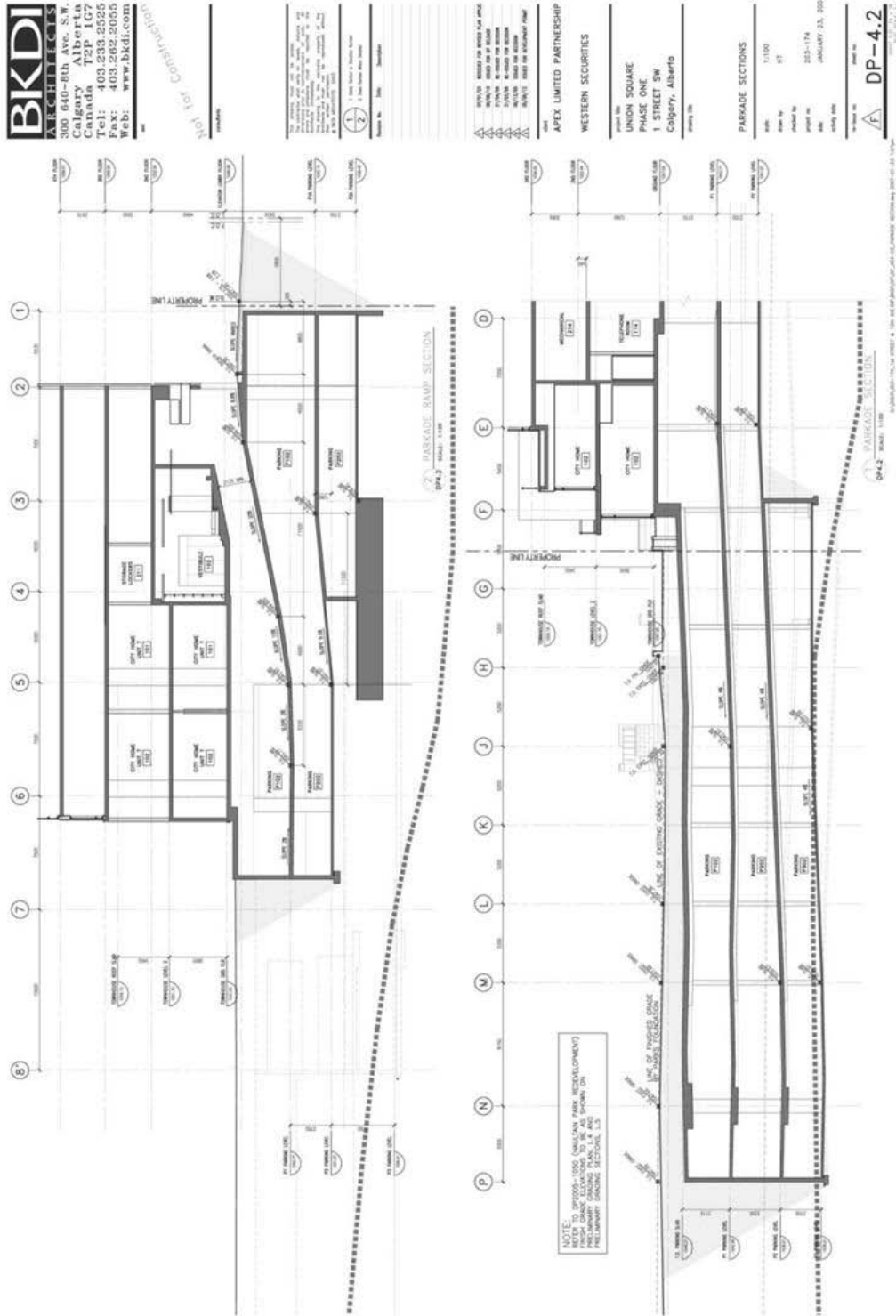


SECTION WEST OF GRID C
SCALE: 1/8" = 1'-0"



SECTION SOUTH OF GRID 4
SCALE: 1/8" = 1'-0"

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



BKDI
 ARCHITECTS
 840-80 Alberta
 Calgary, Alberta
 Canada T2P 1G7
 Tel: 403.233.2525
 Fax: 403.262.2055
 Web: www.bkdi.com

DATE: _____
 DRAWING NO.: _____
 SHEET NO.: _____

PROJECT: _____
 CLIENT: _____
 DESIGNER: _____

APEX LIMITED PARTNERSHIP
 WESTERN SECURITIES
 UNION SQUARE
 PHASE ONE
 1 STREET SW
 Calgary, Alberta

PARKADE SECTIONS
 DATE: 1/1/00
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 PROJECT NO.: 200-174
 SHEET NO.: 10/0007-2/A, 2007

SCALE: 1/8" = 1'-0"
 PROJECT NO.: 200-174
 SHEET NO.: 10/0007-2/A, 2007

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

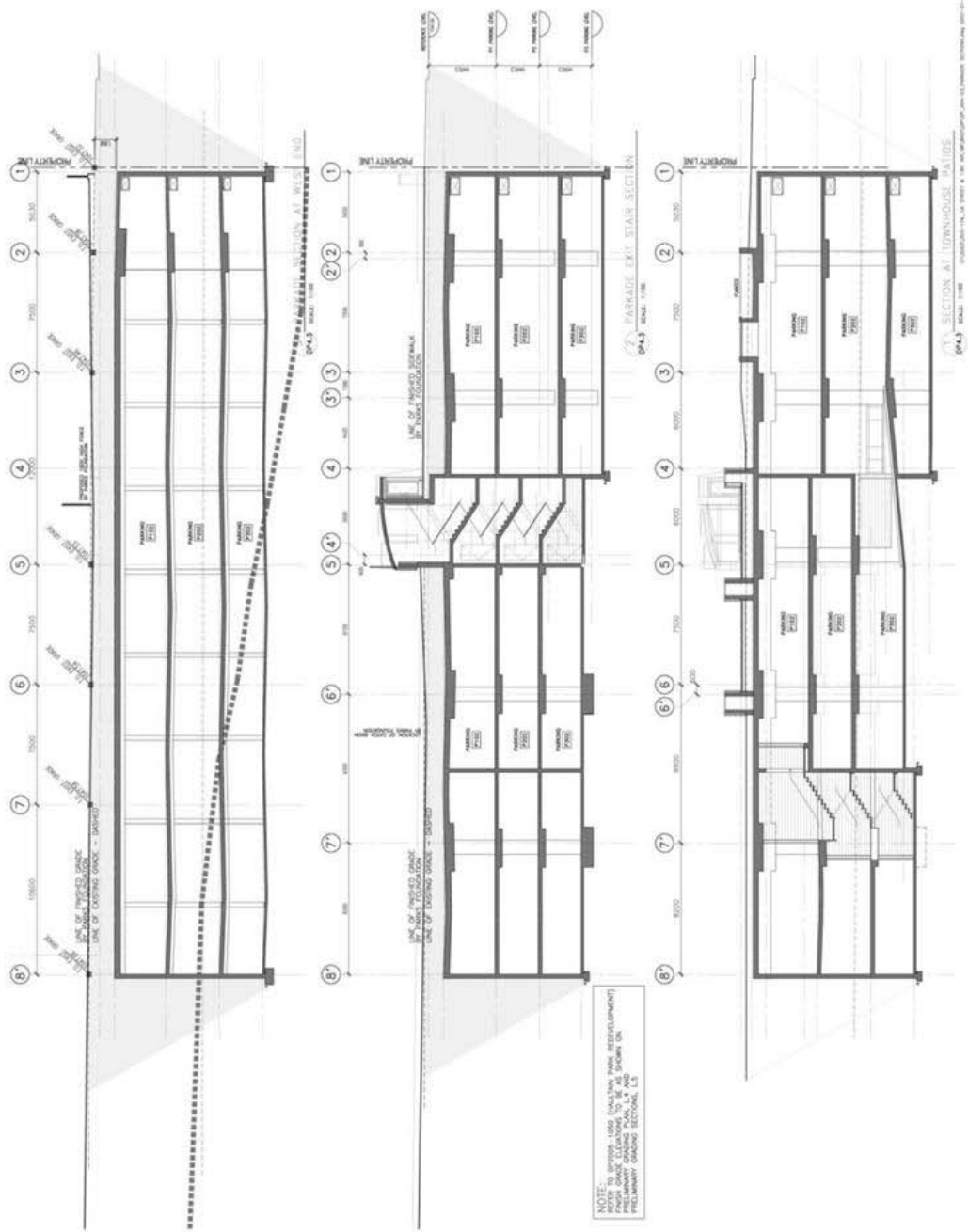
BKDI
ARCHITECTS
1440-80th St. N.
Calgary, Alberta
Canada T2P 1G7
Tel: 403.233.2525
Fax: 403.262.2055
Web: www.bkdi.com

Construction
1001 10th Ave. S.E.
Calgary, Alberta
T2C 1V8
Tel: 403.243.8888
Fax: 403.243.8889
Web: www.100110th.com

APEX LIMITED PARTNERSHIP
WESTERN SECURITIES
UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

PARKADE SECTIONS
DATE: 1/1/00
DRAWN BY: [Name]
CHECKED BY: [Name]
PROJECT NO: 200-174
DATE: JANUARY 23, 2007

DP-4.3
1/1/00



AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

BKDI
ARCHITECTS

1440-80th Street, S.E.
Calgary, Alberta
Canada T2P 1G7
Tel: 403-233-2525
Fax: 403-262-2055
Web: www.bkdi.com

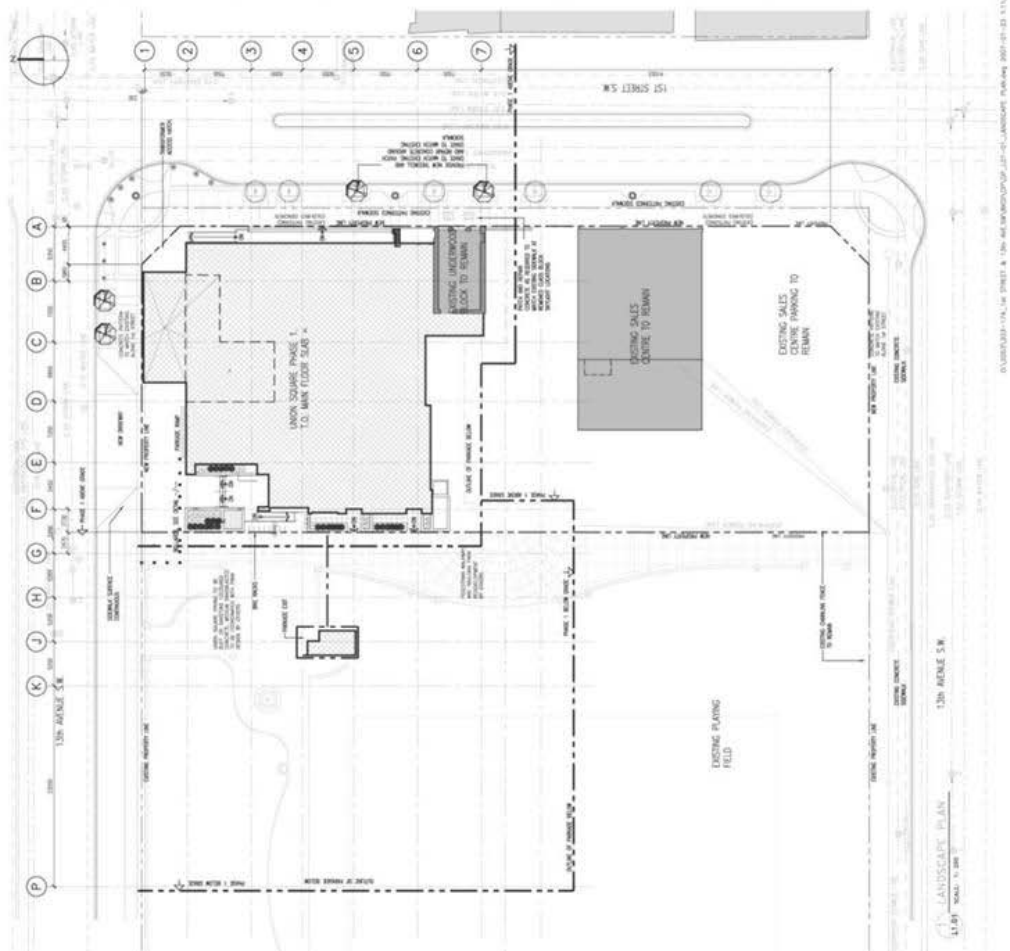
FOR CONSTRUCTION

DATE: 1.1.2010
DRAWN BY: CK
CHECKED BY: CK
PROJECT NO: 200-174
DATE: JANUARY 23, 2007
SHEET NO: 11.1

PROJECT NO: 200-174
PROJECT NAME: UNION SQUARE
1 STREET SW
Calgary, Alberta

CLIENT: WESTERN SECURITIES
PROJECT NAME: UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

PROJECT NAME: UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta



UNDEVELOPED AREA = 462 sq. metres

KEY	SYMBOL	NAME	SIZE	REMARKS	QTY
1	(Symbol)	UNDEVELOPED AREA	462 sq. metres	Area to be developed	1
2	(Symbol)	EXISTING UNDEVELOPED	Area to be retained	Area to be retained	1
3	(Symbol)	EXISTING UNDEVELOPED	Area to be retained	Area to be retained	1
4	(Symbol)	EXISTING UNDEVELOPED	Area to be retained	Area to be retained	1
5	(Symbol)	EXISTING UNDEVELOPED	Area to be retained	Area to be retained	1
6	(Symbol)	EXISTING UNDEVELOPED	Area to be retained	Area to be retained	1
7	(Symbol)	EXISTING UNDEVELOPED	Area to be retained	Area to be retained	1

GENERAL NOTES

- All plant material conforms to the standards of the City of Calgary.
- Topsoil and soil fill areas disturbed due to work of this contract, are grades that match all existing grades of adjacent property.
- No construction, including grading and stripping shall occur on the site.
- Any attempt occurring to the left or right during construction shall be the responsibility of the contractor.
- Construction of disturbed areas shall comply with the City of Calgary Home, Stipulations and Specifications, including all amendments.
- Contractor to protect all existing plant material that is to remain from construction with a fence or adequate protection.
- All inspection for the site to be an automatic central inspection.

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

BKDI ARCHITECTS
 1040-80th St. S.
 Calgary, Alberta
 Canada T2P 1G7
 Tel: 403.233.2525
 Fax: 403.262.2055
 Web: www.bkdi.com

FOR CONSTRUCTION

DATE: _____
 DRAWN BY: _____
 CHECKED BY: _____
 PROJECT NO: _____
 SHEET NO: _____

**UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta**

**LEVEL 2
LANDSCAPE PLAN**

SCALE: 1/16" = 1'-0"

DATE: JANUARY 23, 2007

L1.2



GENERAL NOTES

1. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.
2. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.
3. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.
4. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.
5. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.
6. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.
7. ALL PLANTINGS SHALL BE INSTALLED AS SHOWN.

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

BKDI
ARCHITECTS
100-9000 17th St.
Calgary, Alberta
Canada T2P 1G7
Tel: 403.233.2525
Fax: 403.282.2055
Web: www.bkdi.com

UNION SQUARE
PHASE ONE
1 STREET SW
Calgary, Alberta

LEVEL 3
LANDSCAPE PLAN

DATE: 11/09
DRAWN BY: CK
CHECKED BY: CK
PROJECT NO: 202-174
DATE: JANUARY 23, 2007

SCALE: 1:100

PROJECT: UNION SQUARE PHASE ONE

DATE: 11/09

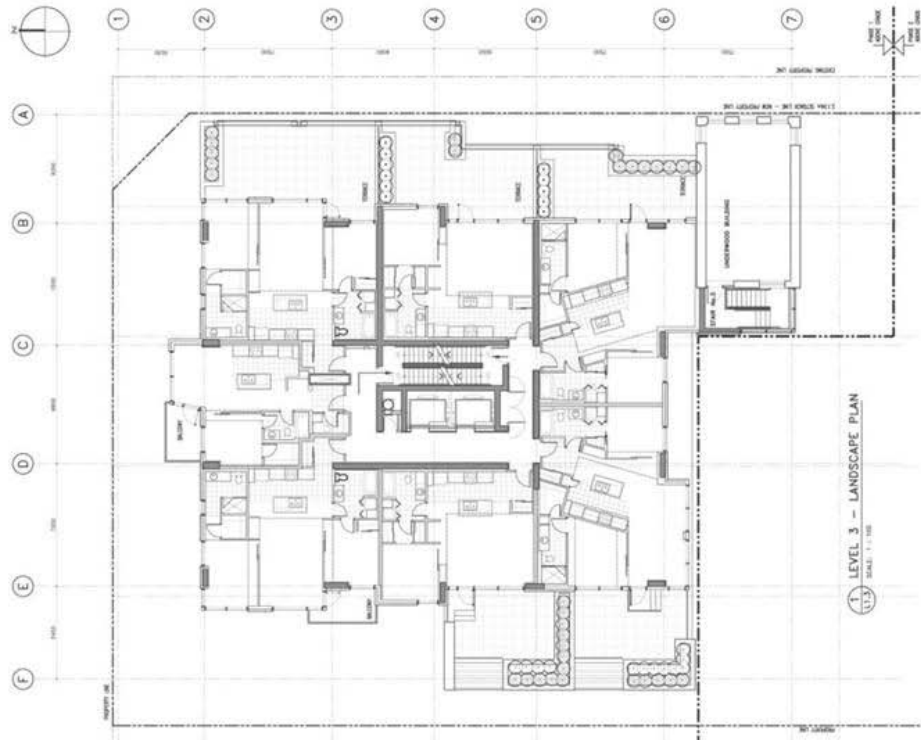
DRAWN BY: CK

CHECKED BY: CK

PROJECT NO: 202-174

DATE: JANUARY 23, 2007

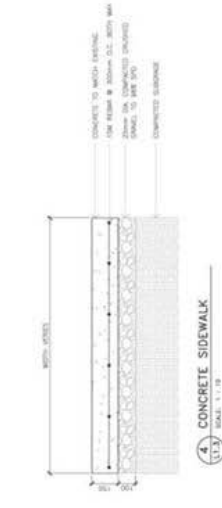
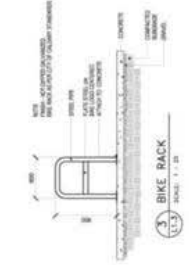
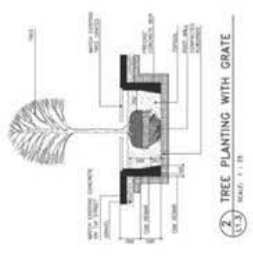
SCALE: 1:100



KEY	SYMBOL	NAME	SIZE	REMARKS	QTY
1	[Symbol]	REGULOUS NATIVE SHRUBS	400 x 600 mm height 10 and 15	APPROXIMATE QUANTITY	20
2	[Symbol]	REGULOUS NATIVE SHRUBS	400 x 600 mm height 10 and 15	APPROXIMATE QUANTITY	11
3	[Symbol]	REGULOUS NATIVE SHRUBS	400 x 600 mm height 10 and 15	APPROXIMATE QUANTITY	10

GENERAL NOTES

- All plantings to be installed by the contractor.
- Plantings to be installed in accordance with the approved site plan and the approved landscape plan.
- Plantings to be installed in accordance with the approved site plan and the approved landscape plan.
- Plantings to be installed in accordance with the approved site plan and the approved landscape plan.
- Plantings to be installed in accordance with the approved site plan and the approved landscape plan.
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- Plantings to be installed in accordance with the approved site plan and the approved landscape plan.



UNION SQUARE - PHASE II



208 14th AVENUE, CALGARY, ALBERTA

PUMP BLOCK 101, LOTS 16 - 25

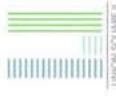
ARCHITECTURAL

- SP1.1 SITE CONTEXT & ANALYSIS
- SP1.2 SITE BOUNDARY & AREA PLAN (SMB)
- SP1.3 SITE PLAN
- SP1.4 SITE PLAN
- SP1.5 FINISH GRADE ELEVATION
- SP1.6 FINISH GRADE ELEVATION
- SP1.7 FINISH GRADE ELEVATION
- SP1.8 FINISH GRADE ELEVATION
- SP1.9 FINISH GRADE ELEVATION
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- SP1.97 FINISH GRADE ELEVATION
- SP1.98 FINISH GRADE ELEVATION
- SP1.99 FINISH GRADE ELEVATION
- SP1.100 FINISH GRADE ELEVATION

LANDSCAPE

- SP1.11 GROUND FLOOR LANDSCAPE PLAN
- SP1.12 GROUND FLOOR LANDSCAPE PLAN

BKDI
ARCHITECTS
300, 640 - 8th Avenue SW
Calgary, Alberta
Canada T2P 1G7
Tel: 403 283 2055
Fax: 403 283 2056
Web: www.bkdi.com



CANADIAN ROCKY MOUNTAIN RESORTS
NEW MULTI RESIDENTIAL
UNION SQUARE - PHASE II
212-141
DATE: 01/08/2018
ISSUED FOR CIVIL APPROVAL



AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

BKDI
ARCHITECTS
300, 640 - 8th Avenue SW
Calgary, Alberta T2P 1G7
Tel: 403.233.2525
Fax: 403.262.2055
Web: www.bkdi.com

NOT FOR CONSTRUCTION



3. VIEW LOOKING NORTH



2. VIEW LOOKING NORTH



1. VIEW LOOKING NORTH WEST



7. VIEW LOOKING EAST @ 14TH AVENUE S.W.



6. VIEW LOOKING EAST



5. VIEW LOOKING SOUTH EAST



4. VIEW LOOKING NORTH EAST



10. VIEW LOOKING SOUTH @ 1ST STREET S.W.



9. VIEW LOOKING WEST



8. VIEW LOOKING SOUTH



13. UNDERWOOD HERITAGE BUILDING



12. PHASE 1 & SURROUNDING HIGH-RISE TOWERS



11. HERITAGE BUILDING

THE TOWN OF CALGARY
CITY ENGINEER
CITY OF CALGARY
CITY ENGINEER
CITY OF CALGARY
CITY ENGINEER

DATE: 10/10/2014
PROJECT: 2005 14th Avenue S.W.
SITE CONTEXT & PHOTOS

SCALE: 1:100
DATE: 10/10/2014
DRAWN BY: [Name]

DP0.1



AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

BKDI ARCHITECTS
 300, 640 - 8th Avenue SW
 CALGARY, ALBERTA T2P 1G7
 Tel: 403.233.2525
 Fax: 403.262.2055
 WEB: WWW.BKDI.COM

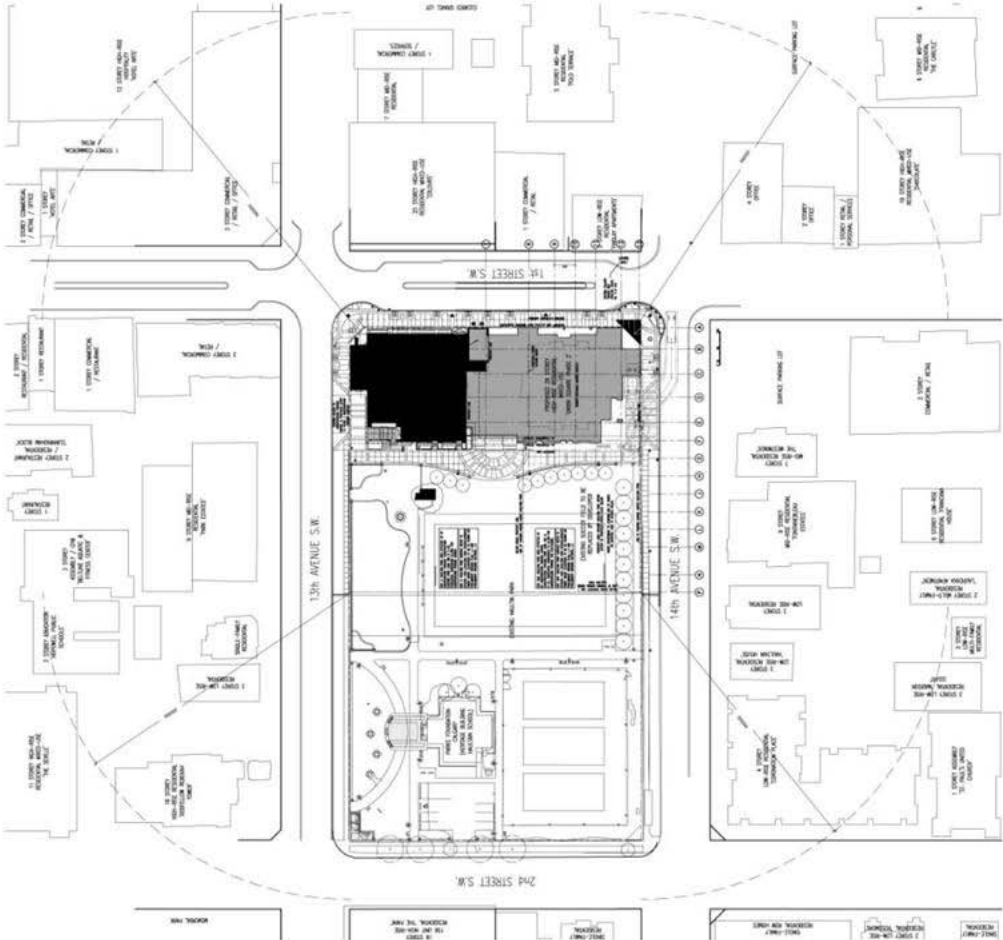
NOT FOR CONSTRUCTION

PROJECT DATA
 NEIGHBOURHOOD PLAN # LUSE
 (50% HOUSE OF SITE)

2008/10/14 AVENUE S.W.

DP0.2

DATE: 10/14/2008
SCALE: 1/8" = 1'-0"
PROJECT NO.: 08-001
CLIENT: [REDACTED]



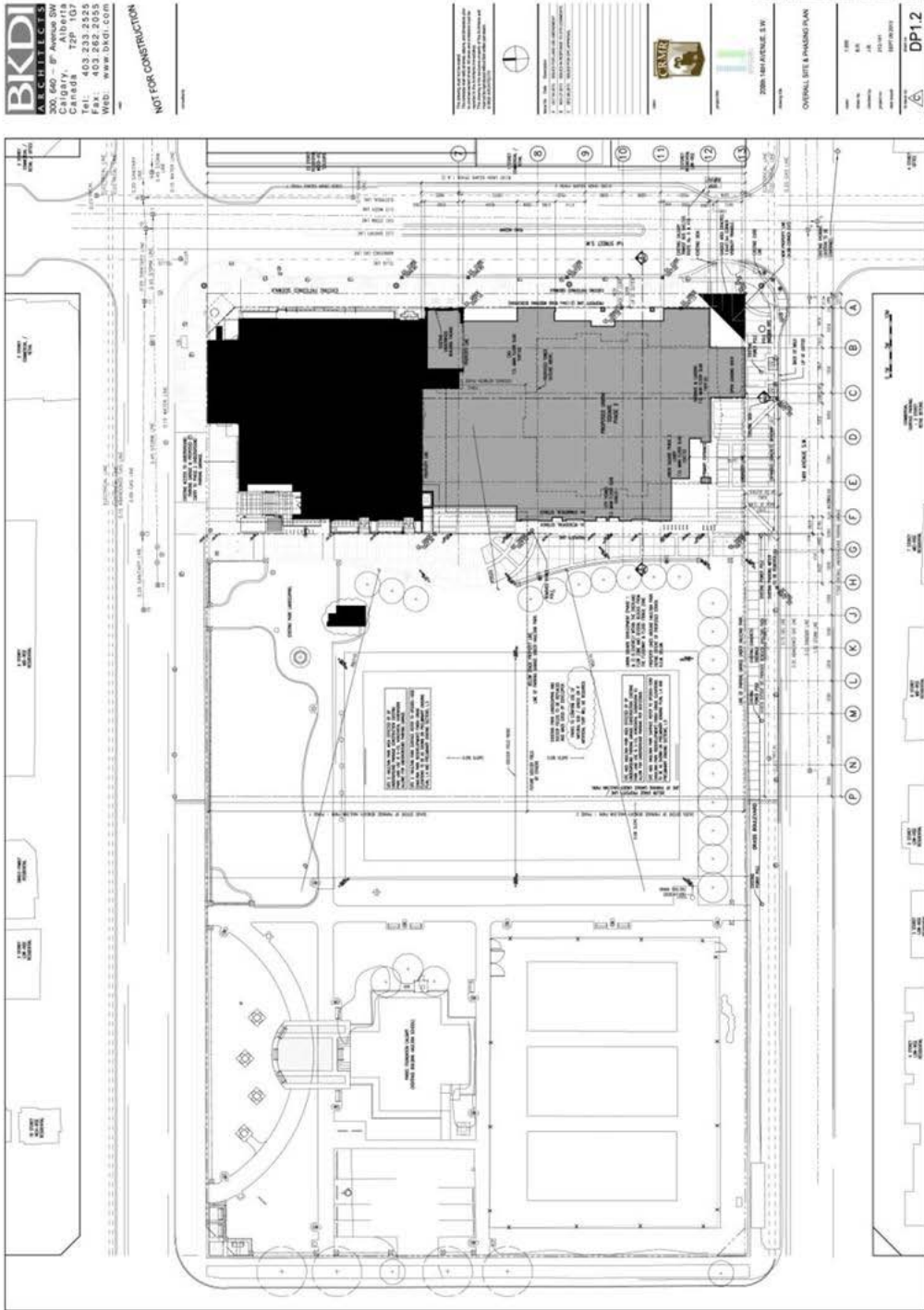
PROJECT INFORMATION

GENERAL NOTES:
 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF CALGARY ZONING BYLAW AND THE CALGARY ZONING BYLAW AMENDMENT 14D2014.
 2. THE DEVELOPER SHALL OBTAIN ALL NECESSARY PERMITS FROM THE CITY OF CALGARY.
 3. THE DEVELOPER SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
 4. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.
 5. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE FEATURES.
 6. THE DEVELOPER SHALL MAINTAIN ALL EXISTING DRIVEWAYS AND PAVEMENT.
 7. THE DEVELOPER SHALL MAINTAIN ALL EXISTING FENCES AND WALLS.
 8. THE DEVELOPER SHALL MAINTAIN ALL EXISTING SIGNAGE.
 9. THE DEVELOPER SHALL MAINTAIN ALL EXISTING UTILITIES AND SERVICES.
 10. THE DEVELOPER SHALL MAINTAIN ALL EXISTING TREES AND LANDSCAPE FEATURES.

PROPOSED DEVELOPMENT:
 1. CONSTRUCTION OF A NEW RESIDENTIAL BUILDING.
 2. CONSTRUCTION OF A NEW DRIVEWAY.
 3. CONSTRUCTION OF A NEW FENCE.
 4. CONSTRUCTION OF A NEW SIGNAGE.

EXISTING DEVELOPMENT:
 1. EXISTING RESIDENTIAL BUILDING.
 2. EXISTING DRIVEWAY.
 3. EXISTING FENCE.
 4. EXISTING SIGNAGE.

**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

BKDI
ARCHITECTS
300, 600 - 87 Avenue SW
Calgary, Alberta
T2C 1P9
Tel: 403 262 2055
Fax: 403 262 2055
Web: www.bkdi.com

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NO.	DATE	DESCRIPTION
1	2013-08-20	ISSUED FOR PERMIT
2	2013-08-20	ISSUED FOR PERMIT
3	2013-08-20	ISSUED FOR PERMIT
4	2013-08-20	ISSUED FOR PERMIT
5	2013-08-20	ISSUED FOR PERMIT
6	2013-08-20	ISSUED FOR PERMIT
7	2013-08-20	ISSUED FOR PERMIT
8	2013-08-20	ISSUED FOR PERMIT
9	2013-08-20	ISSUED FOR PERMIT
10	2013-08-20	ISSUED FOR PERMIT
11	2013-08-20	ISSUED FOR PERMIT
12	2013-08-20	ISSUED FOR PERMIT
13	2013-08-20	ISSUED FOR PERMIT
14	2013-08-20	ISSUED FOR PERMIT
15	2013-08-20	ISSUED FOR PERMIT
16	2013-08-20	ISSUED FOR PERMIT
17	2013-08-20	ISSUED FOR PERMIT
18	2013-08-20	ISSUED FOR PERMIT
19	2013-08-20	ISSUED FOR PERMIT
20	2013-08-20	ISSUED FOR PERMIT

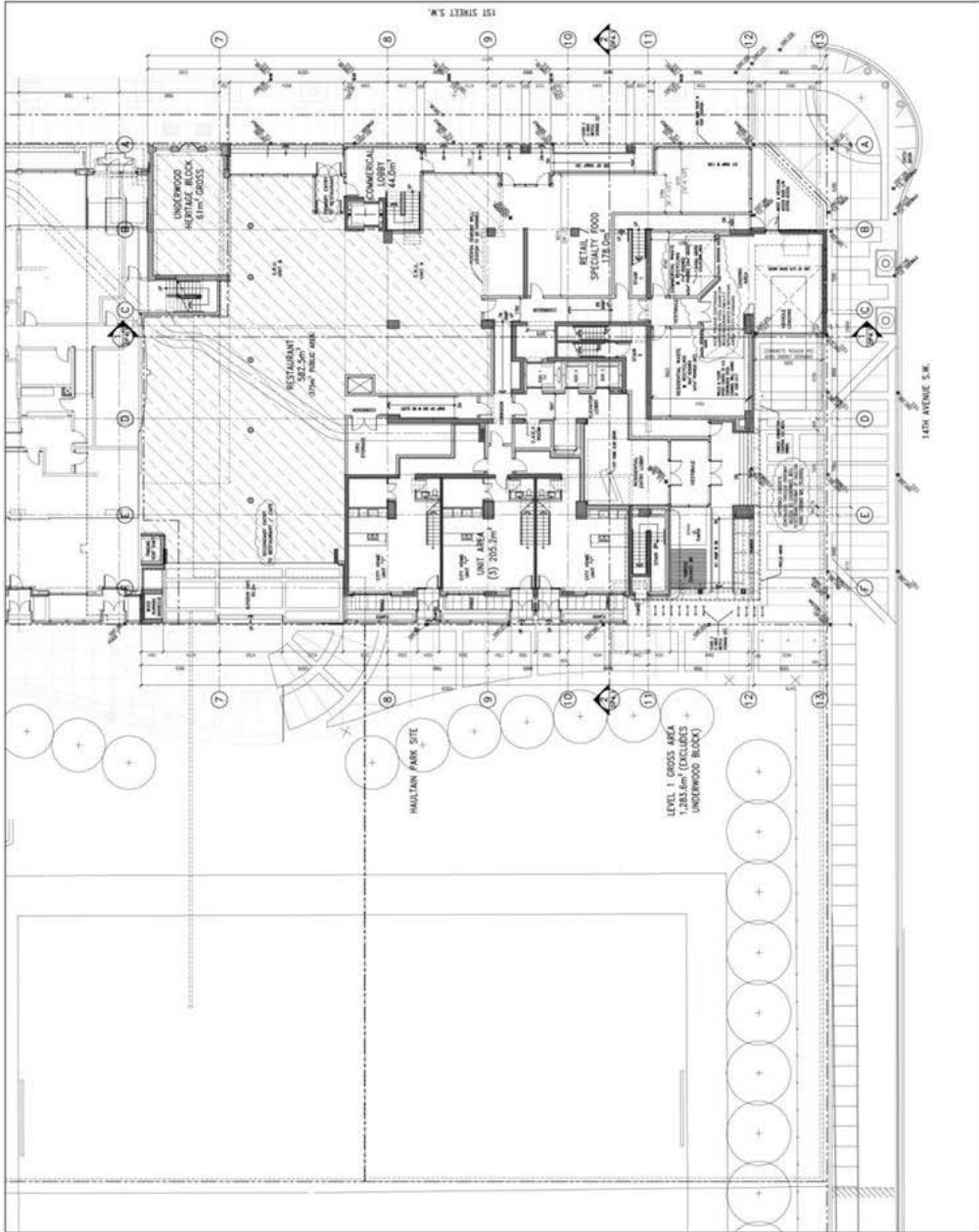


2000 VICTORIA ST. W.
CALGARY, ALBERTA T2C 1P9
TEL: 403 262 2055
FAX: 403 262 2055
WWW.BKDI.COM

FLOOR PLAN
REVISIONS

NO.	DATE	DESCRIPTION
1	2013-08-20	ISSUED FOR PERMIT
2	2013-08-20	ISSUED FOR PERMIT
3	2013-08-20	ISSUED FOR PERMIT
4	2013-08-20	ISSUED FOR PERMIT
5	2013-08-20	ISSUED FOR PERMIT
6	2013-08-20	ISSUED FOR PERMIT
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17	2013-08-20	ISSUED FOR PERMIT
18	2013-08-20	ISSUED FOR PERMIT
19	2013-08-20	ISSUED FOR PERMIT
20	2013-08-20	ISSUED FOR PERMIT

DP2.3



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

BKDI
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DATE: 10/10/2013
PROJECT: 2280 10th AVENUE S.W.
DRAWN BY: [Name]
CHECKED BY: [Name]
SCALE: 1/8" = 1'-0"

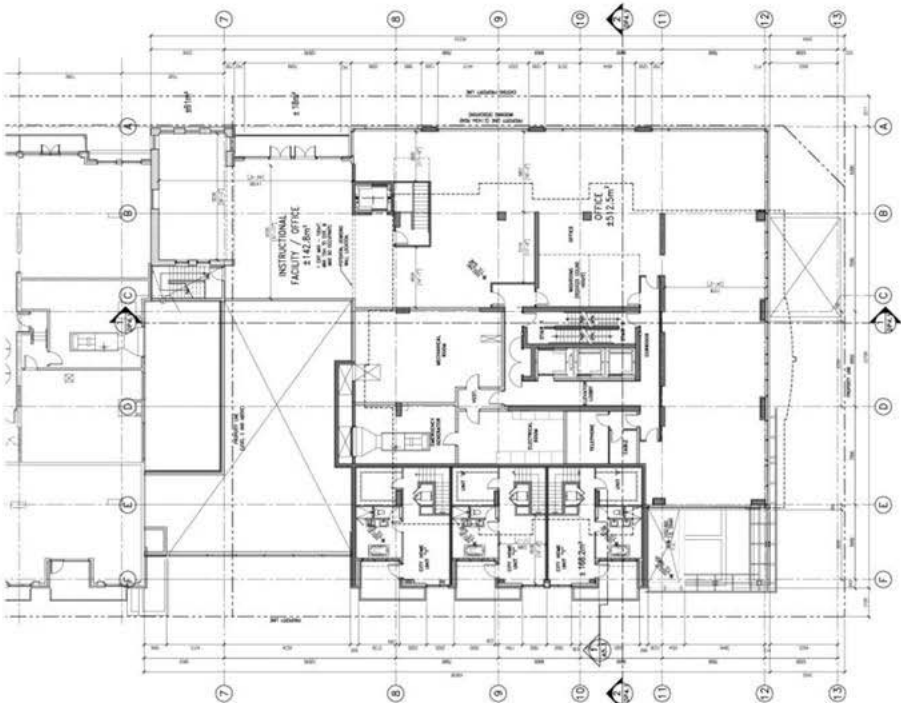


2280 10th AVENUE S.W.
CALGARY, ALBERTA T2P 1K1

FLOOR PLAN
LEVEL 2

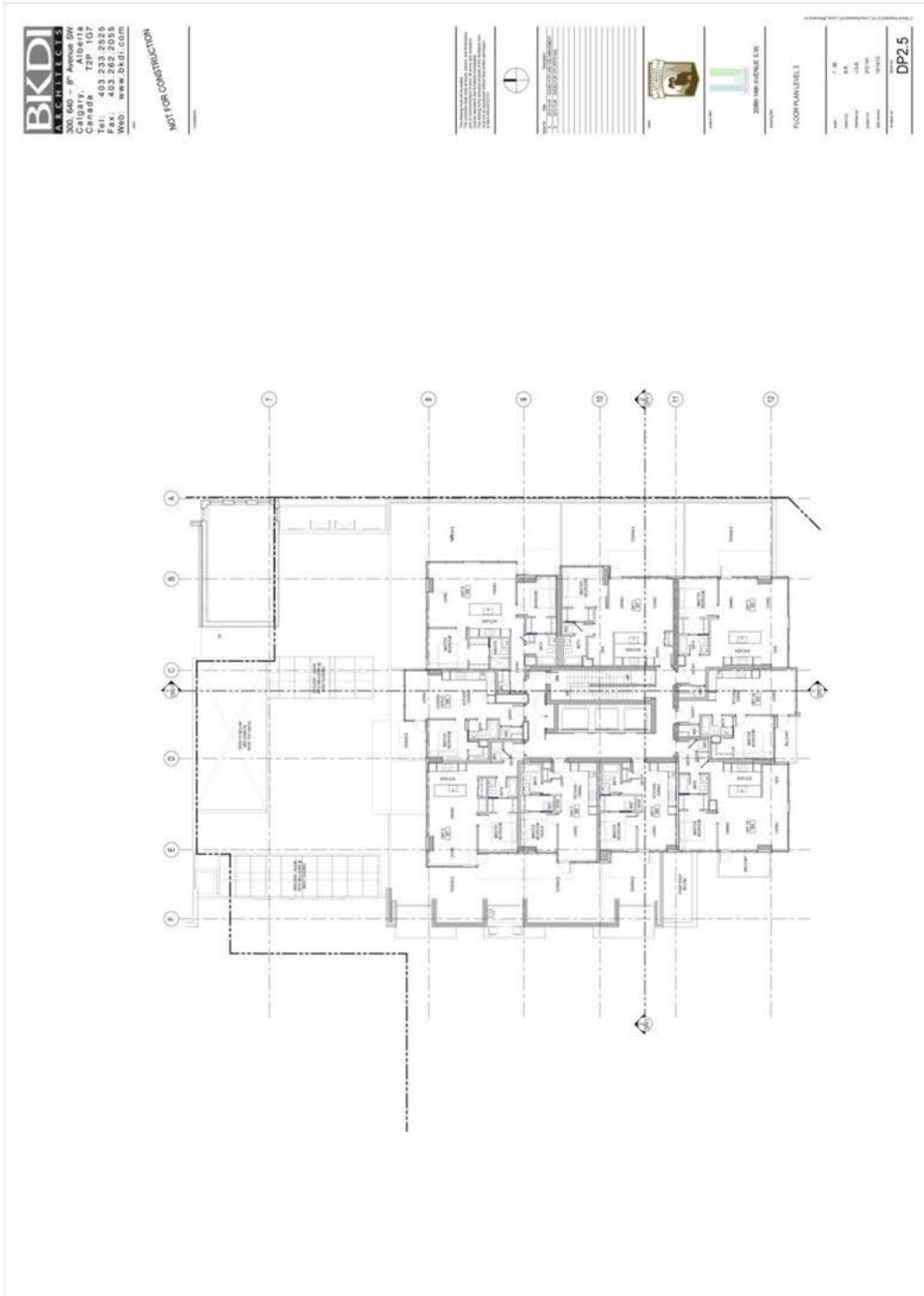
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SCALE	1/8" = 1'-0"
PROJECT	2280 10 th AVENUE S.W.
DRAWN BY	[Name]
CHECKED BY	[Name]
DATE	10/10/2013

DP2.4

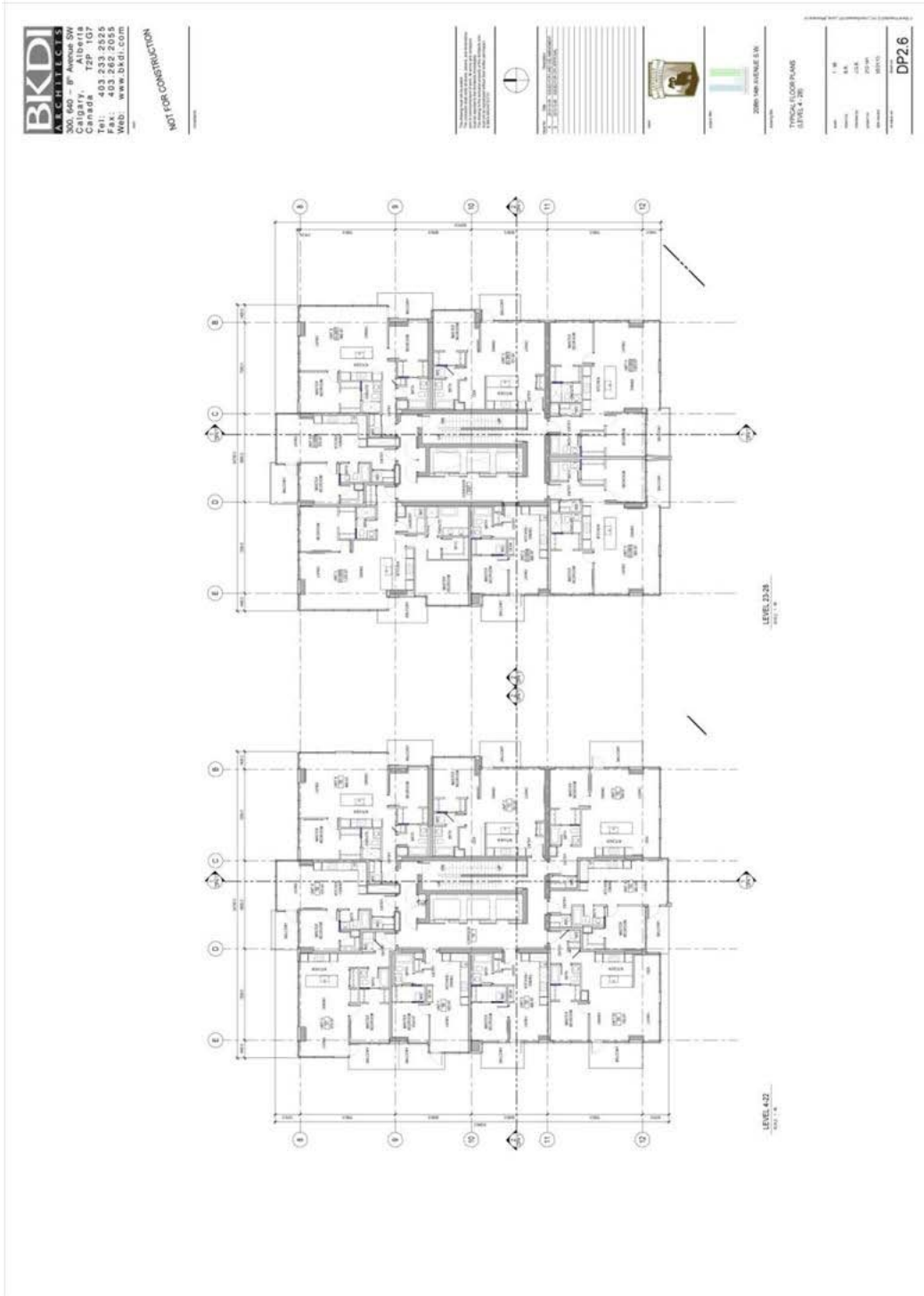


LEVEL 2 CROSS AREA
1,324.6m² (EXCLUDES
UNDERWOOD BLOCK)

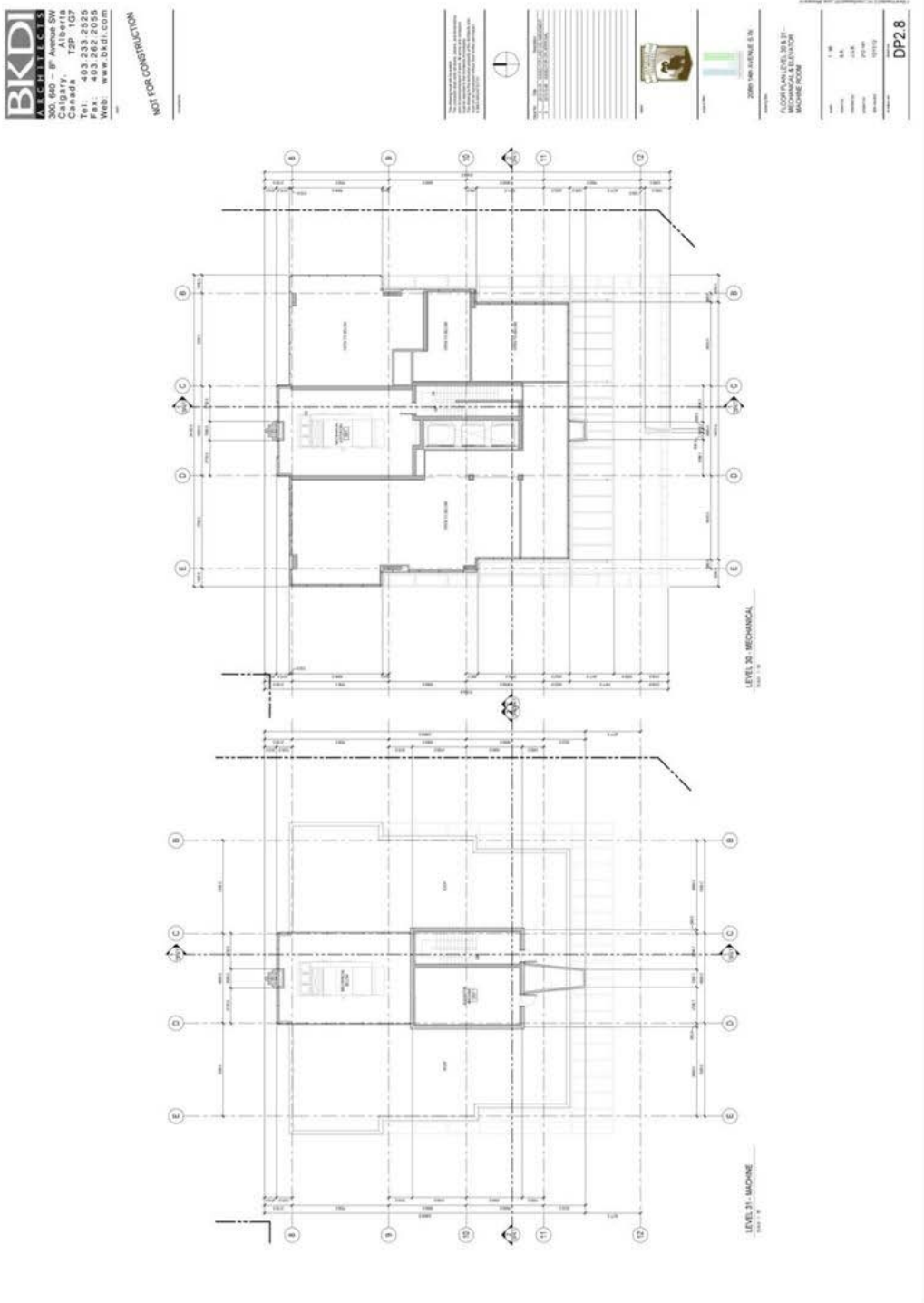
AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014



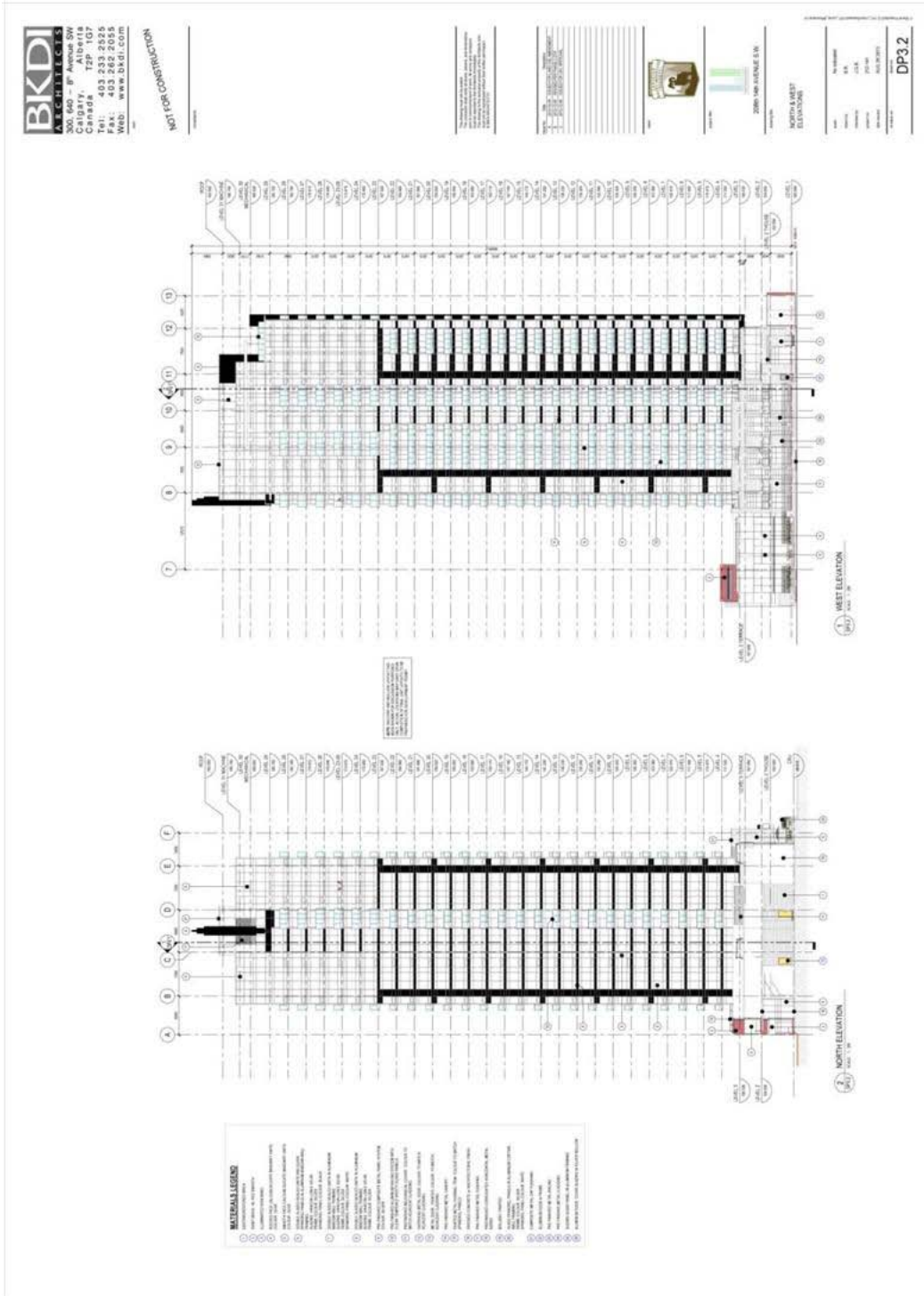
**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**



**AMENDMENT LOC2013-0060
BYLAW NUMBER 14D2014**

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PROJECT INFORMATION	
Project Name:	2000 - 10th Avenue SW
Client:	30 VIEWS
Scale:	1:50
Author:	30 VIEWS
Check:	30 VIEWS
Drawn:	30 VIEWS
Date:	30 VIEWS

Architectural elevations showing different views of the building: View from South-East, View from SW, Part View from South-East, Part View from South-West, View from North-East, and Part View from South-East.

AMENDMENT LOC2013-0060 BYLAW NUMBER 14D2014

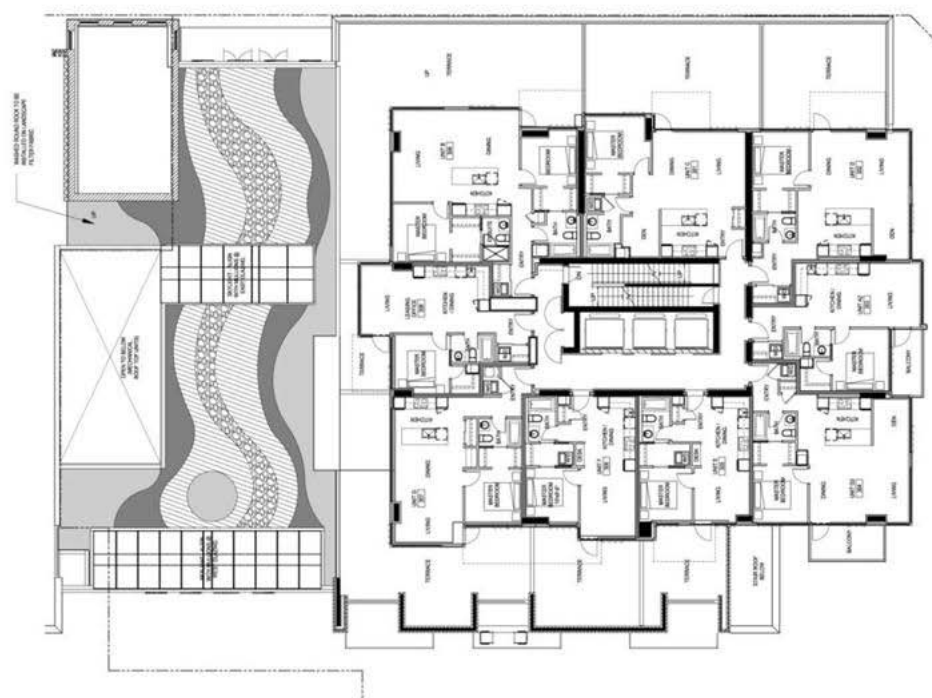
BKDI
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MATRIX
LANDSCAPE ARCHITECTURE
100, 10th Avenue SW, Suite 100
Calgary, Alberta T2P 1K1
Tel: 403.242.2055
Fax: 403.242.2055
www.matrixlandscape.com

KEY	ITEM	SIZE	REMARKS	AREA
ROOF TERRACE				
[Symbol]	Roof Deck	Area of Roof Deck	Roof Deck, installed on Landscape Floor Plates	87.72sq'
[Symbol]	Roof Deck	Three Deck	Roof Deck, installed on Landscape Floor Plates	48.78sq'
[Symbol]	Roof Deck	Roof Deck	Roof Deck, installed on Landscape Floor Plates	84.24sq'
[Symbol]	Roof Deck	12.00 sq. m. (Roof Deck with perimeter 10' x 100m)	Roof Deck, installed on Landscape Floor Plates	13.30sq'

UNION SQUARE PHASE 2
2000 10th AVENUE, S.W.
LEVEL 3
LANDSCAPE PLAN
DATE: 04/27/2014
DPL1.2



LEVEL 3 LANDSCAPE PLAN