

**BYLAW NUMBER 56D2021**

**BEING A BYLAW OF THE CITY OF CALGARY  
TO AMEND THE LAND USE BYLAW 1P2007  
(LAND USE AMENDMENT  
LOC2020-0106/CPC2021-0191)**

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**WHEREAS** it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

**AND WHEREAS** Council has held a public hearing as required by Section 692 of the *Municipal Government Act*, R.S.A. 2000, c.M-26 as amended;

**NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:**

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".
2. This Bylaw comes into force on the date it is passed.

READ A FIRST TIME ON APRIL 12, 2021

READ A SECOND TIME, AS AMENDED, ON APRIL 12, 2021

READ A THIRD TIME, AS AMENDED, ON APRIL 12, 2021



MAYOR

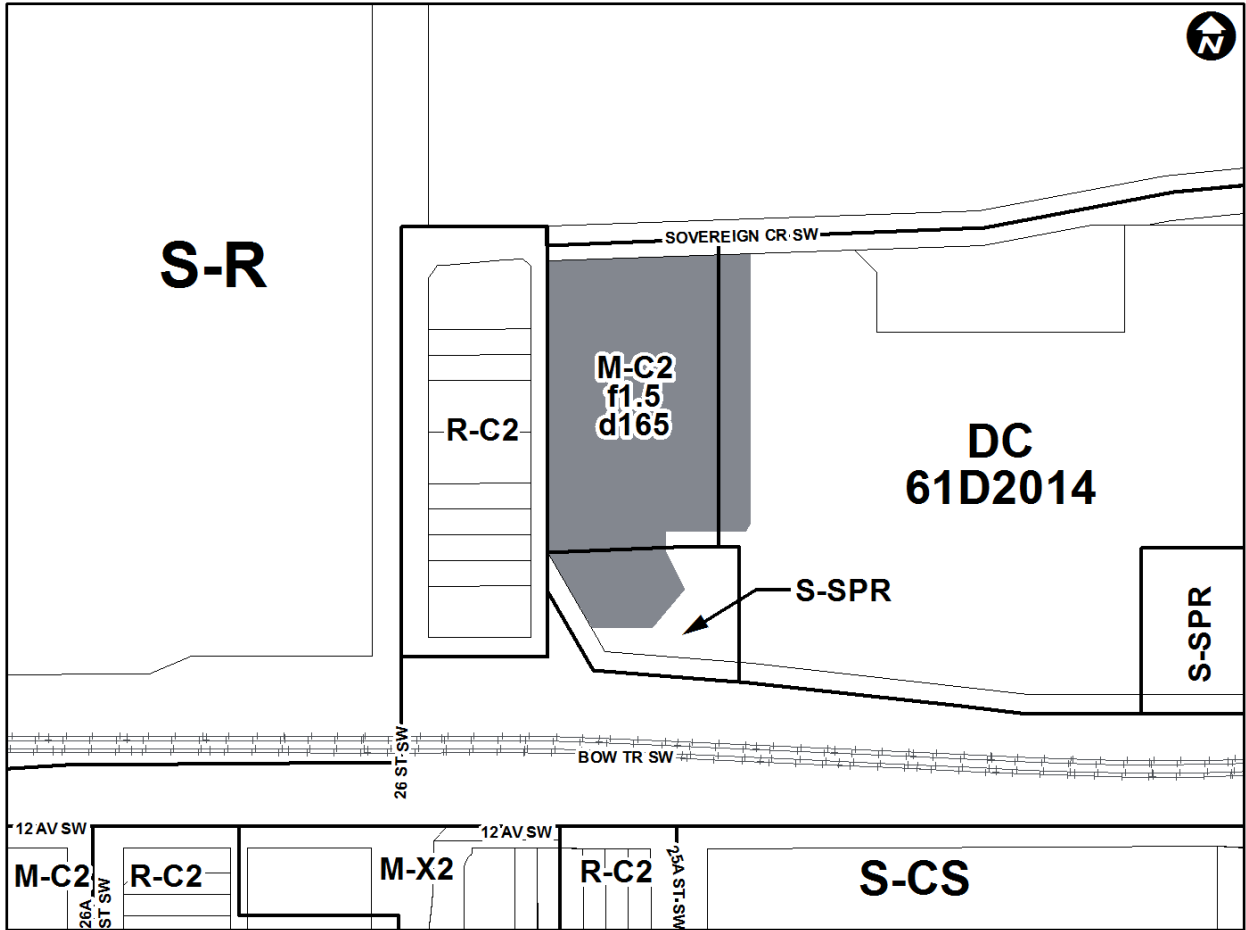
SIGNED ON APRIL 27, 2021



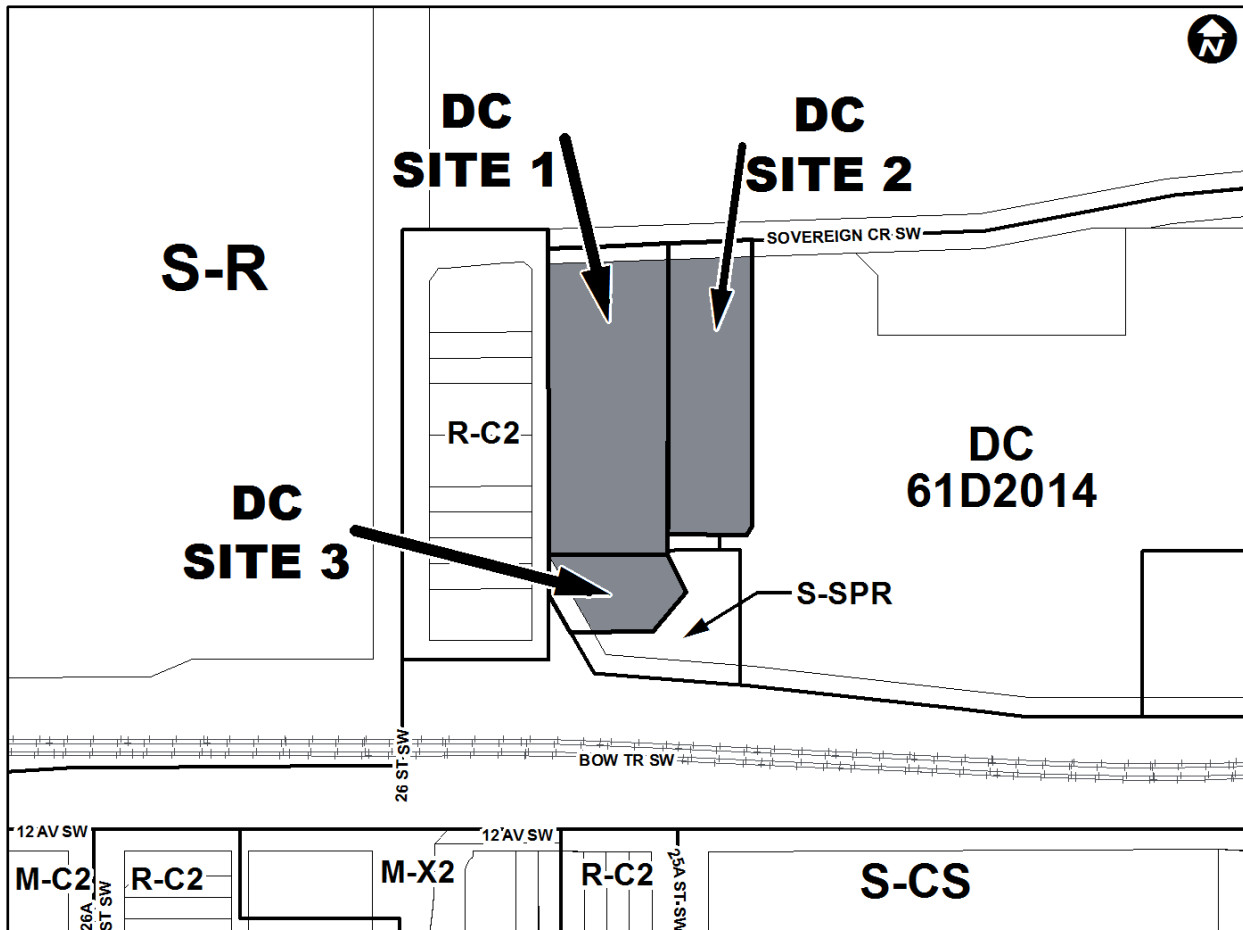
ACTING CITY CLERK

SIGNED ON APRIL 27, 2021

SCHEDULE A



SCHEDULE B



**DIRECT CONTROL DISTRICT**

**Purpose**

- 1 This Direct Control District Bylaw is intended to accommodate grade-oriented housing characterized by tall height and large open balconies.

**Compliance with Bylaw 1P2007**

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

**Reference to Bylaw 1P2007**

- 3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

**No Development Permit Exemption**

- 4 The construction of or addition to a **Single Detached Dwelling, Semi-detached Dwelling or Duplex Dwelling** in this Direct Control District requires a **development permit**.

**SITE 1 (0.34 hectares ±)**

**Application**

5 The provisions in sections 6 through 13 apply only to Site 1.

**Permitted Uses**

6 The **permitted uses** of the Residential – One / Two Dwelling (R-2) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

**Discretionary Uses**

7 The **discretionary uses** of the Residential – One / Two Dwelling (R-2) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

**Bylaw 1P2007 District Rules**

8 Unless otherwise specified, the rules of the Residential – One / Two Dwelling (R-2) District of Bylaw 1P2007 apply in this Direct Control District.

**Parcel Coverage**

9 The maximum **parcel coverage** is 65.0 per cent of the area of the **parcel**, which must be reduced by 21.0 square metres for each required **motor vehicle parking stall** that is not provided in a **private garage**.

**Building Height**

10 The maximum **building height** is 12.0 metres.

**Building Height on a Corner Parcel**

11 The maximum **building height** for a building located on a **corner parcel** is that provided in Section 10 of this Direct Control District Bylaw.

**Balcony Depth**

12 An **open balcony** may project up to 4.8 metres from the **building** façade to which it is attached.

**Private Garage Setback from a Lane**

13 The minimum **building setback** for a **private garage** is 1.8 metres from a **property line** shared with a **lane**.

**SITE 2 (0.20 hectares ±)**

**Application**

14 The provisions in sections 15 through 22 apply only to Site 2.

**Permitted Uses**

15 The **permitted uses** of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

**Discretionary Uses**

16 The **discretionary uses** of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

**Bylaw 1P2007 District Rules**

17 Unless otherwise specified, the rules of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 apply in this Direct Control District.

**Parcel Coverage**

18 The maximum **parcel coverage** is 65.0 per cent of the area of the **parcel** which must be reduced by 21.0 square metres for each required **motor vehicle parking stall** that is not provided in a **public garage**.

**Parcel Area**

19 The minimum area of a **parcel** is 95.0 square metres per **unit**.

**Building Setback Areas**

20 Unless otherwise provided in Section 20 of this Direct Control District Bylaw, the minimum depth of all **setback areas** must be equal to the minimum **building setbacks** provided in the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007.

**Building Setback from Rear Property Line**

21 The minimum **building setback** from the **rear property line** is 1.4 metres.

**Building Height**

22 The maximum **building height** is 14.5 metres.

**SITE 3 (0.08 hectares ±)**

**Application**

23 The provisions in sections 24 through 31 apply only to Site 3.

**Permitted Uses**

24 The **permitted uses** of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

**Discretionary Uses**

25 The **discretionary uses** of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District.

**Bylaw 1P2007 District Rules**

26 Unless otherwise specified, the rules of the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007 apply in this Direct Control District.

**Parcel Depth**

27 The minimum **parcel depth** is 21.0 metres.

**Building Setback Areas**

28 Unless otherwise provided in Section 28 of this Direct Control District Bylaw, the minimum depth of all **setback areas** must be equal to the minimum **building setbacks** provided in the Residential – Low Density Mixed Housing (R-G) District of Bylaw 1P2007.

**Building Setback from Rear Property Line**

29 The minimum **building setback** from the **rear property line** is 1.4 metres.

**Building Height**

30 The maximum ***building height*** is 14.0 metres.

**Outdoor Private Amenity Space**

31 No ***private amenity space*** is required.

**Relaxations**

32 The ***Development Authority*** may relax the rules contained in Sections 8, 17, and 26 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.