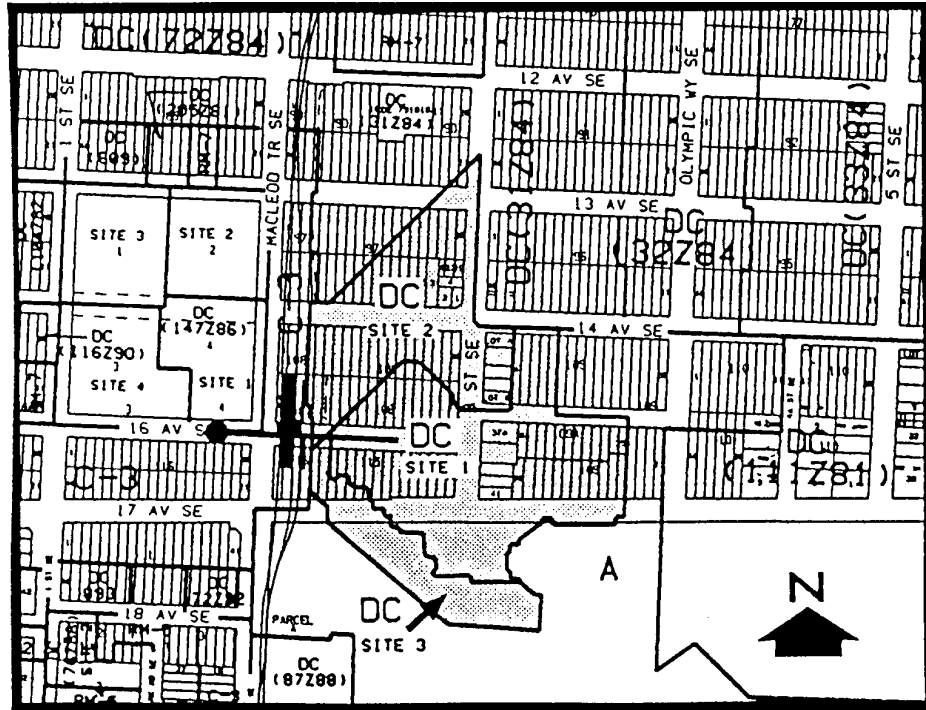


**Amendment No. 92/007  
Bylaw No. 50Z92  
Council Approval: 20 July 1992**

**SCHEDULE B**



1. Land Use

The land use shall be for a trade and exhibition facility and ancillary commercial uses only.

2. Development Guidelines

The General Rules for Special Districts contained in Section 38 of By-law 2P80 shall apply unless otherwise noted below:

a. Floodway and Floodplain Special Regulations

The development shall conform with the City of Calgary Floodway and Floodplain Special Regulations, Section 19.1 of By-law 2P80, to the satisfaction of the Approving Authority.

b. Vehicular Access and Egress

Access and egress shall be determined at the time of application for a development permit to the satisfaction of the Approving Authority.

c. Gross Floor Area

i. Existing Development - Site 1:

The maximum gross floor area shall be that contained in the buildings existing on site on the date of passage of this by-law ( $\pm 260,000$  sq.ft.).

ii. Phase 1 Expansion:

Site 2 - a maximum of 300,000 sq.ft.

Site 3 - a maximum of 75,000 sq.ft.

d. Fencing, Landscaping and Garbage Storage

Fencing, landscaping and garbage storage shall be to the satisfaction of the Approving Authority.

e. Parking

Parking shall be provided in the ratio of 1 stall per  $140\text{m}^2$  (1500 sq. ft.) of net floor area, or in accordance with a parking policy for Stampede Park approved by City Council.

f. Building Height

The maximum building height shall be 46 m at the eaveline, except as follows:

Site 2 - the maximum building height of the northeast elevation shall not exceed 20 metres at the eaveline.

g. Signage

A comprehensive signage proposal shall be submitted as part of the development permit application.

h. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.