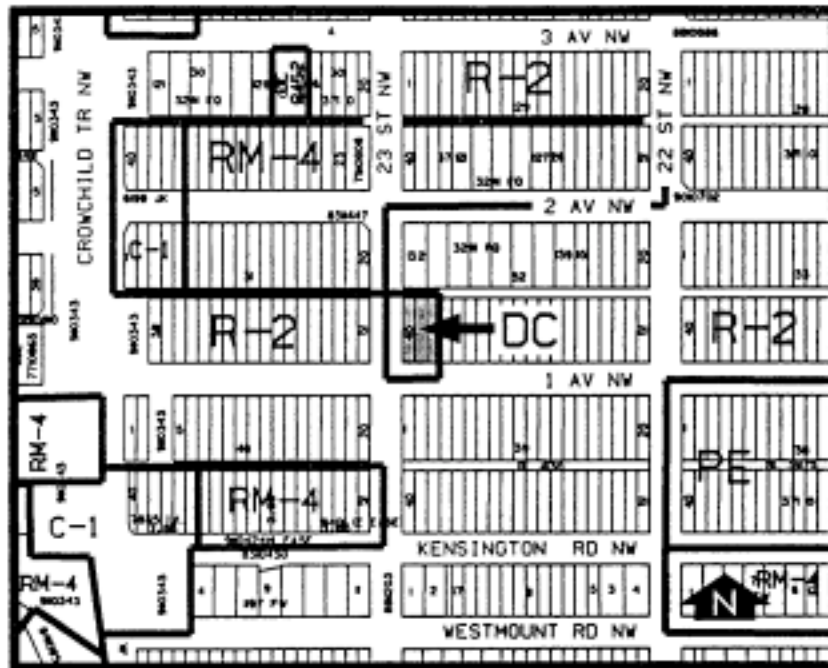


**Amendment No. 94/008
Bylaw No. 44Z94
Council Approval: 10 May 1994**

SCHEDULE B



1. Land Use

The permitted and discretionary uses of the R-2 Residential Low Density District shall be the permitted and discretionary uses respectively with the additional permitted use of a prosthetics and orthotics business and offices as discretionary uses only for the following professions:

Architectural, Engineering, Financial, Investment, Legal, Accounting, Oil, Gas and Geological and Property Management.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the R-2 District shall apply unless otherwise noted below.

a. Commercial Density

Use of the building shall be limited to those uses which, in the opinion of the Approving Authority, will not result in an intensification of either traffic or parking requirements.

b. Parking

Parking shall be as required by Section 18 of By-law 2P80 with a maximum of 9 stalls for office uses. Use of the building shall not create a demand for parking greater than that provided.

c. Outside Storage

No material, equipment or commercial vehicles shall be allowed to be stored on the site.

d. Alterations

Any alterations or changes to the exterior of the structure, landscaping or parking areas shall require the approval of detailed plans by the Approving Authority.

e. Signage

Signage shall be limited in size, design and location and must be compatible with the residential character of the area to the satisfaction of the Approving Authority. No illuminated signage shall be allowed.

f. Corner Cut

A 4.5 m x 4.5 m required corner cut at 23 Street and 1 Avenue NW shall be dedicated at no cost to the City for road widening purposes.

g. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authority as part of a development permit application.