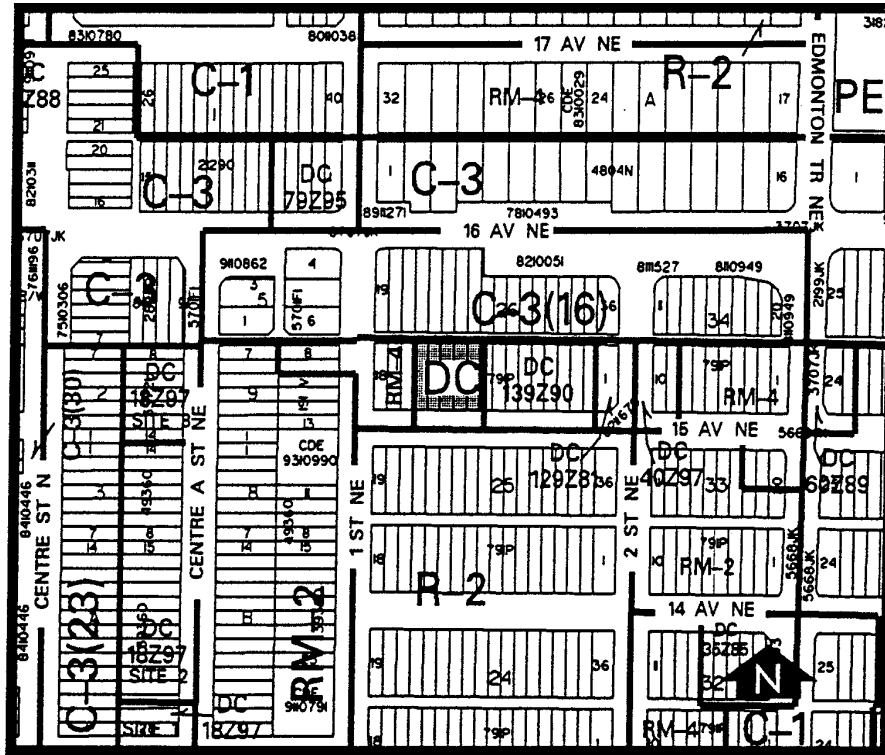


Amendment No. 1998/029
Bylaw No. 128Z2000
Council Approval: 06 November 2000

SCHEDULE B



1. Land Use

The Permitted and Discretionary Uses of the RM-4 Residential Medium Density Multi-Dwelling District shall be the Permitted and Discretionary Uses respectively with the additional Discretionary Use of surface parking (temporary) in conjunction with the adjacent developments of Peter's Drive-In and the Municipal Tax Commission and Court of Revision.

For the purposes of this Bylaw, "surface parking (temporary)" means the use of land for a parking area restricted to grade level parking only and only required when ancillary to another use.

2. Development Guidelines

- (a) For the Permitted and Discretionary Uses of the RM-4 Residential Medium Density Multi-Dwelling District, the General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-Dwelling District shall apply.

(b) For surface parking (temporary), the following guidelines shall apply:

(i) Site Layout

The design and location of vehicular movement areas, landscaping and boundary elements shall be to the satisfaction of the Approving Authority having regard to the plans submitted to Council as part of this application.

(ii) Landscaping

(A) A landscaping plan detailing the usage of existing and proposed vegetation, screening materials and design shall be submitted to the Approving Authority for approval as part of a development permit application.

(B) The landscaped buffer along 15 Avenue NE shall be a minimum of 6 metres in depth.

(C) The landscaped buffer along the west property boundary shall be a minimum of 3 metres in depth.

(iii) Parking Area

The parking area and adjoining lane shall be hard surfaced to the satisfaction of the Approving Authority with adequate aisle, stall and traffic movement markings being provided.

(iv) Access/Egress

All access/egress shall be from 2 or 1 Street NE and the east/west lane. No vehicular/pedestrian movement shall be allowed from 15 Avenue NE.

(v) Signage

A comprehensive signage proposal shall be submitted to the satisfaction of the Approving Authority with all copy being restricted to directional information only.

(vi) Lighting

Lighting of the parking area shall not be located or mounted such that adjacent residences are impacted by glare, reflections or other similar intrusions.

(vii) Approval Period

A Development Permit may be issued for surface parking (temporary) for a period of up to five years.

(c) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking, and accesses shall subsequently be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the site layout conforms

substantially to the plans and renderings submitted to City Council during their consideration of this Bylaw.