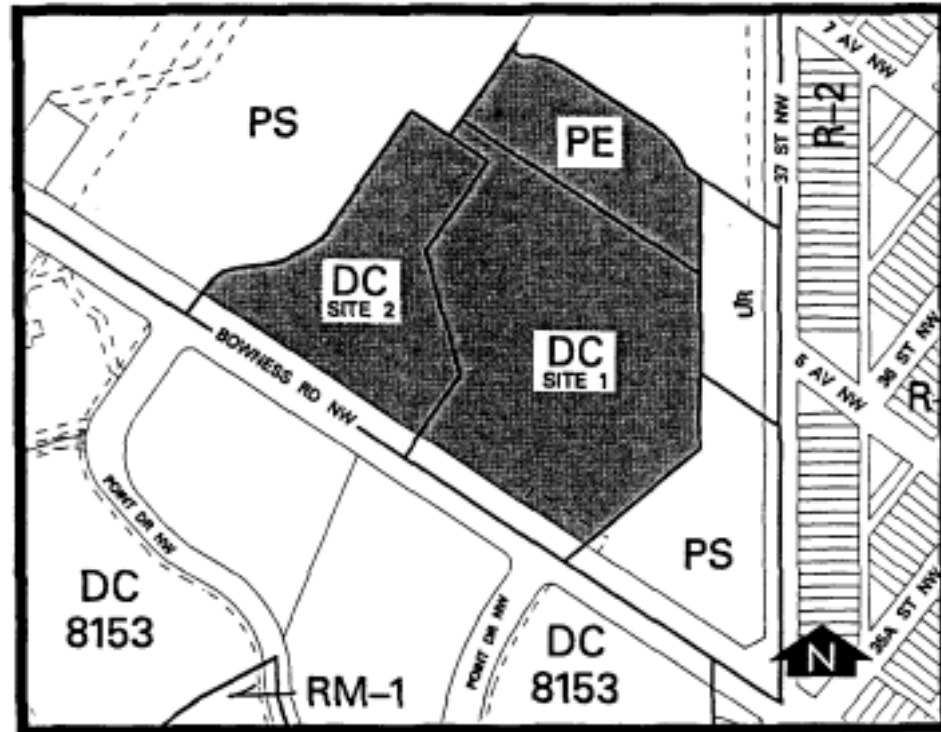


Amendment No. 2000/045
Bylaw No. 76Z2000
Council Approval: 24 July 2000

SCHEDULE B



Site 1 (2.882 ha±) (7.12 ac±)

(1) Land Use

The land use shall be for a comprehensively designed special care facility.

(2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-Dwelling District shall apply except as otherwise noted below:

(a) Parking

A minimum of 140 on-site parking stalls shall be provided.

(b) Landscaping

Landscaping shall be provided in accordance with a comprehensive landscape plan submitted and approved in conjunction with any development permit application for the site.

(c) Height

A maximum of 2 storeys to the eaves of the building.

(d) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall be submitted to the Development Authority as part of a development permit application.

Site 2 (1.486 ha±) (3.67 ac±)

(1) Land Use

The land use shall be for a comprehensively designed assisted living apartment complex and ancillary support services.

For the purpose of this Bylaw, "assisted living units" mean dwelling units modified in terms of kitchen and living space as a result of the provision of such facilities or services as communal dining, social/recreational activities and housekeeping within the complex.

(2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-5 Residential Medium Density Multi-Dwelling District shall apply except as otherwise noted below:

(a) Parking

On-site parking shall be provided at a minimum ratio of 1 stall per 4 assisted living units.

(b) Landscaping

Landscaping shall be provided in accordance with a comprehensive landscape plan submitted and approved in conjunction with any development permit application for the site.

(c) Height

The building mass shall step down to a maximum of three storeys at the end of a structure in a manner satisfactory to the Development Authority.

(d) Density

A maximum of 175 assisted living units.

(e) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall be submitted to the Development Authority as part of a development permit application.