

BYLAW NUMBER 257D2018

**BEING A BYLAW OF THE CITY OF CALGARY
TO AMEND THE LAND USE BYLAW 1P2007
(LAND USE AMENDMENT
LOC2017-0096/CPC2018-0812)**

WHEREAS it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

AND WHEREAS Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26 as amended;

NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:

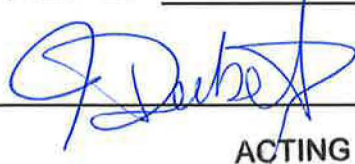
1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and substituting therefor that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".
2. This Bylaw comes into force on the date it is passed.

READ A FIRST TIME ON OCTOBER 09 2018
READ A SECOND TIME ON OCTOBER 09 2018
READ A THIRD TIME ON OCTOBER 09 2018



MAYOR

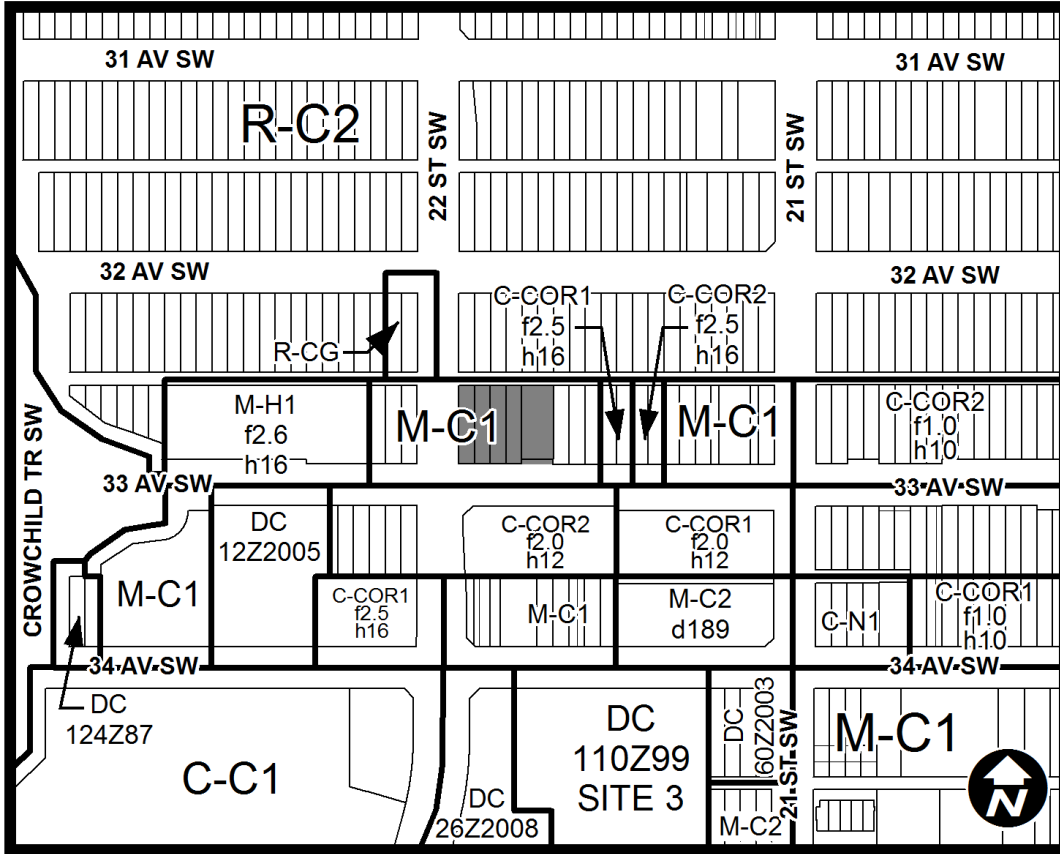
SIGNED ON OCTOBER 09 2018



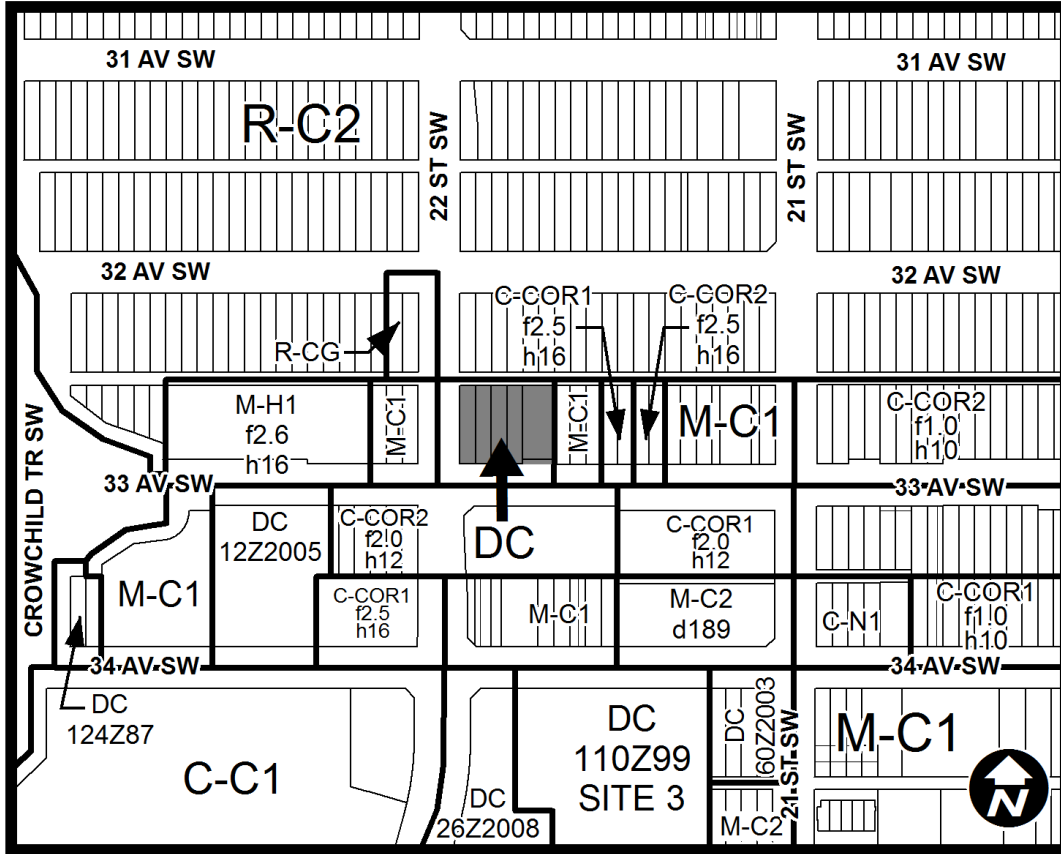
ACTING CITY CLERK

SIGNED ON OCTOBER 09 2018

SCHEDULE A



SCHEDULE B



DIRECT CONTROL DISTRICT

Purpose

- 1 This Direct Control District is intended to:
 - (a) provide for the **development** of a six storey mixed-use **building** of architectural significance and high urban design merit that aligns with the plans in Schedule "C" as a **permitted use**; and
 - (b) diversify the types of businesses operating in the neighbourhood by accommodating a neighbourhood-scale specialized beer and wine store concept.

Compliance with Bylaw 1P2007

- 2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District.

Reference to Bylaw 1P2007

- 3 Within this Direct Control District, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

Defined Uses

- 4 In this Direct Control District:

- (a) **“Permitted Development”** means a *use*:
 - (i) that conforms with the plans attached to this Direct Control District as Schedule “C”.
- (b) **“Specialized Beer & Wine Merchant”** means a *use*:
 - (i) where beer and wine are sold for consumption off the retail outlet premises that has been licensed by the Alberta Gaming and Liquor Commission;
 - (ii) may include the sale of beer, table wine, fortified wine (appetizer, dessert, port and sherry), sparkling wine, crackling wine, bubbling wine, champagne, wine coolers, ciders and related accessories; and
 - (iii) that may have a private hospitality area where retail products are provided to private groups for tasting and consumption as a special event.

Permitted Uses

- 5 (1) The *permitted uses* of the Mixed Use – Active Frontage (MU-2) District of Bylaw 1P2007 are the *permitted uses* in this Direct Control District.
- (2) The following *uses* are the *permitted uses* in this Direct Control District provided the *development* conforms with the plans attached to Schedule “C” of this Direct Control District:
- (a) **Permitted Development;** and
 - (b) **Specialized Beer & Wine Merchant.**

Discretionary Uses

- 6 The *discretionary uses* of the Mixed Use – Active Frontage (MU-2) District of Bylaw 1P2007 are the *discretionary uses* in this Direct Control District with the exclusion of:
- (a) **Liquor Store.**

Bylaw 1P2007 District Rules

- 7 Unless otherwise specified, the rules of the Mixed Use – Active Frontage (MU-2) District of Bylaw 1P2007 apply in this Direct Control District.

Floor Area Ratio

- 8 (1) Except as otherwise specified in subsection (2), the maximum *floor area ratio* is 2.5.
- (2) For a **Permitted Development** that conforms with the plans attached to this Direct Control District as Schedule “C”, the maximum *floor area ratio* is 4.0.

Building Height

- 9 (1) Except as otherwise specified in subsection (2), the maximum *building height* is 16.0 metres.
- (2) For a **Permitted Development** that conforms with the plans attached to this Direct Control District as Schedule “C”, the maximum *building height* is 22.0 metres.

Development Plans for Permitted Development

- 10 Comprehensive plans must be submitted to the *Development Authority* as part of a *development permit* application for **Permitted Development**. In considering such an application, the *Development Authority* must ensure the *development* plans conform with the plans attached to this Direct Control District as Schedule “C”.

**AMENDMENT LOC2017-0096/CPC2018-0812
BYLAW NUMBER 257D2018**

Schedule C: Development Plans for Permitted Development

20.06.2018
2240, 2236, 2232 - 33 AVENUE SW
SCHEDULE C: SIMPLIFIED PLANS

AMENDMENT LOC2017-0096/CPC2018-0812
 BYLAW NUMBER 257D2018

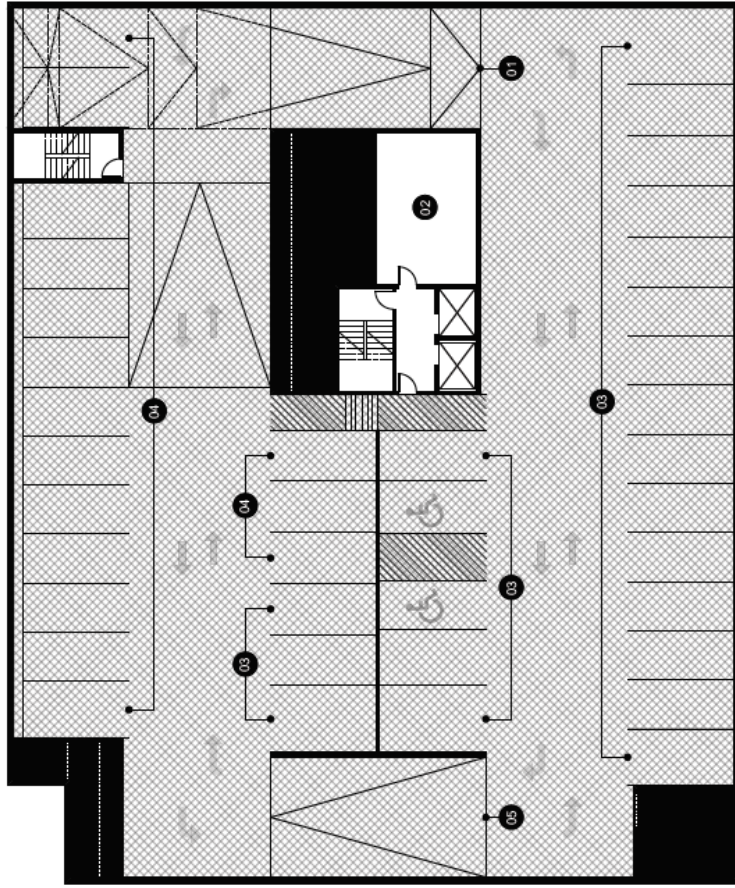
PARKADE ANNOTATIONS

- 01 UNDERGROUND PARKADE EXIT RAMP
- 02 CLASS II BICYCLE STORAGE & REPAIR ROOM
- 03 COMMERCIAL & VISITOR PARKING STALLS
- 04 RESIDENTIAL PARKING STALLS
- 05 PARKADE RAMP

LEGEND

- COMMERCIAL RETAIL UNIT
- LIVE/WORK UNIT AND/OR DWELLING UNIT
- DWELLING UNIT
- PARKING AREA
- BUILDING SERVICE SPACE
- WASTE & RECYCLING
- MECHANICAL/ELECTRICAL ROOM

DISCLAIMER: INTERNAL DENSING WALLS AND STAIR ACCESS, FLOOR FINISHES, PARTITION WALLS, INTERIOR FINISHES, LANDSCAPING AND PUBLIC AMENITY AREA DETAILS, AND WINDOW GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEXIBLE COMPONENTS OF THE DESIGN. THE ARCHITECT ASSUMES NO LIABILITY FOR THESE INDIVIDUAL BUILDING ELEMENTS SHALL BE IN GENERAL CONFORMANCE WITH THIS DRAWING PACKAGE.



P01 PLAN

AMENDMENT LOC2017-0096/CPC2018-0812
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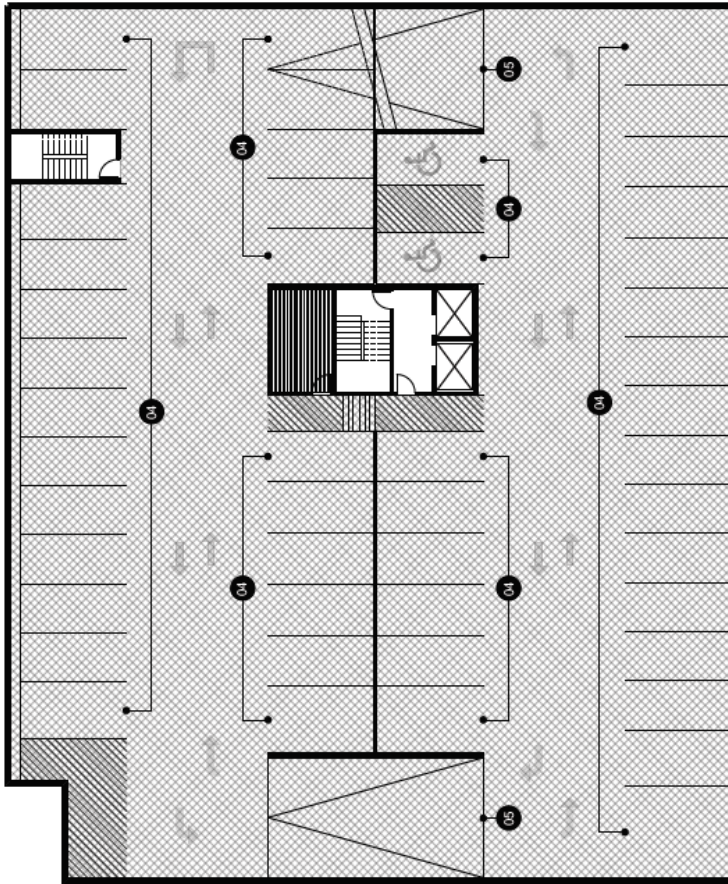
PARKADE ANNOTATIONS

- 01 UNDERGROUND PARKADE EXIT RAMP
- 02 CLASS II BICYCLE STORAGE & REPAIR ROOM
- 03 COMMERCIAL & VISITOR PARKING STALLS
- 04 RESIDENTIAL PARKING STALLS
- 05 PARKADE RAMP

LEGEND

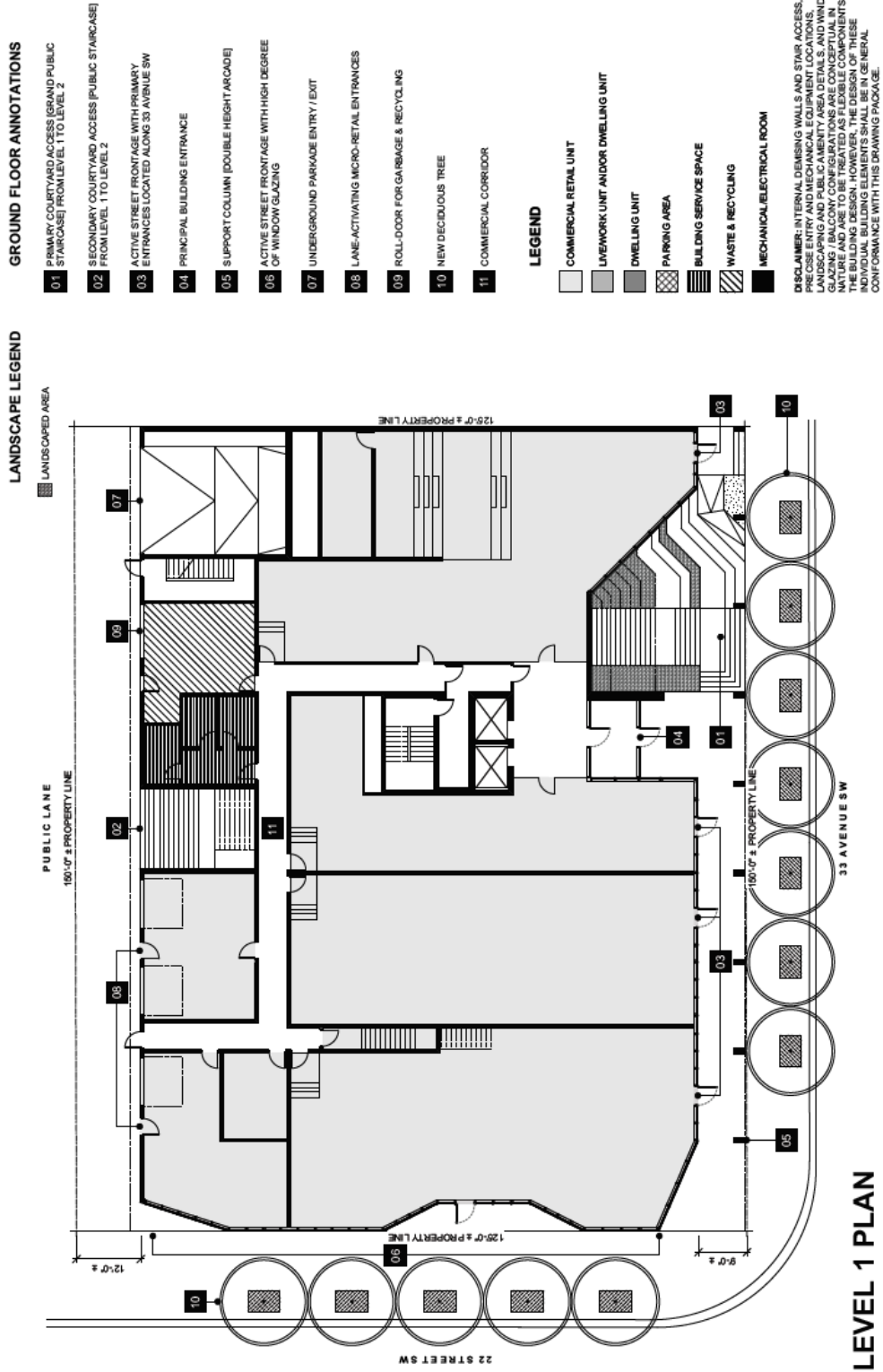
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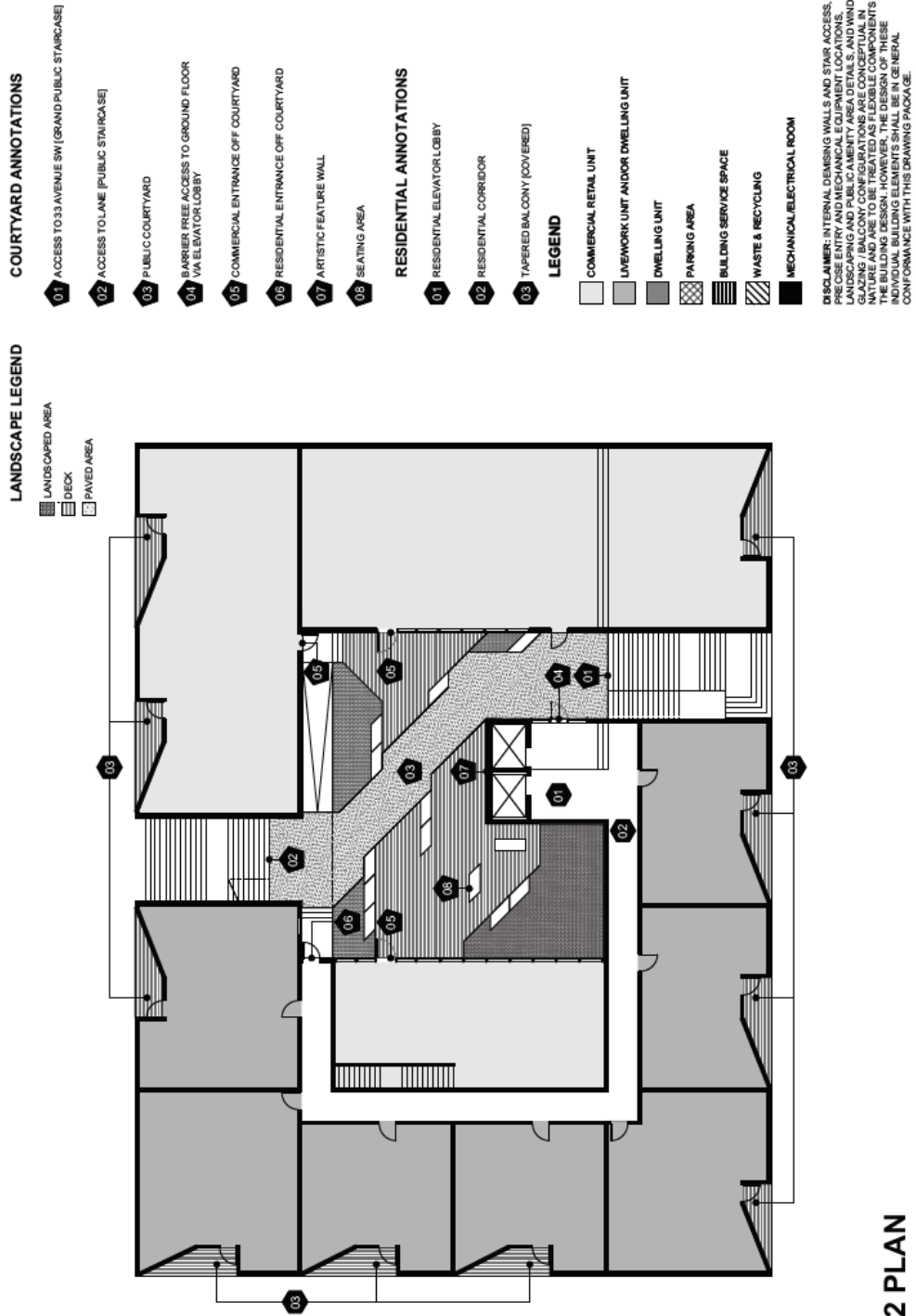
DISCLAIMER: INTERNAL DIMENSING WALLS AND STAIR ACCESS, AND OTHER FEATURES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY. THE EXACT LOCATION AND DIMENSIONS OF ALL FEATURES AND FINISHES ARE TO BE DETERMINED BY THE ARCHITECT AND SHALL BE SUBJECT TO THE FINAL DESIGN AND SHALL BE SUBJECT TO THE FINAL DESIGN AND SHALL BE SUBJECT TO THE FINAL DESIGN. GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEXIBLE COMPONENTS OF THE BUILDING DESIGN. HOWEVER, THE DESIGN OF THESE COMPONENTS SHALL BE SUBJECT TO THE FINAL DESIGN AND SHALL BE SUBJECT TO THE FINAL DESIGN. CONFORMANCE WITH THIS DRAWING PACKAGE.



P02 PLAN

AMENDMENT LOC2017-0096/CPC2018-0812
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LEVEL 2 PLAN

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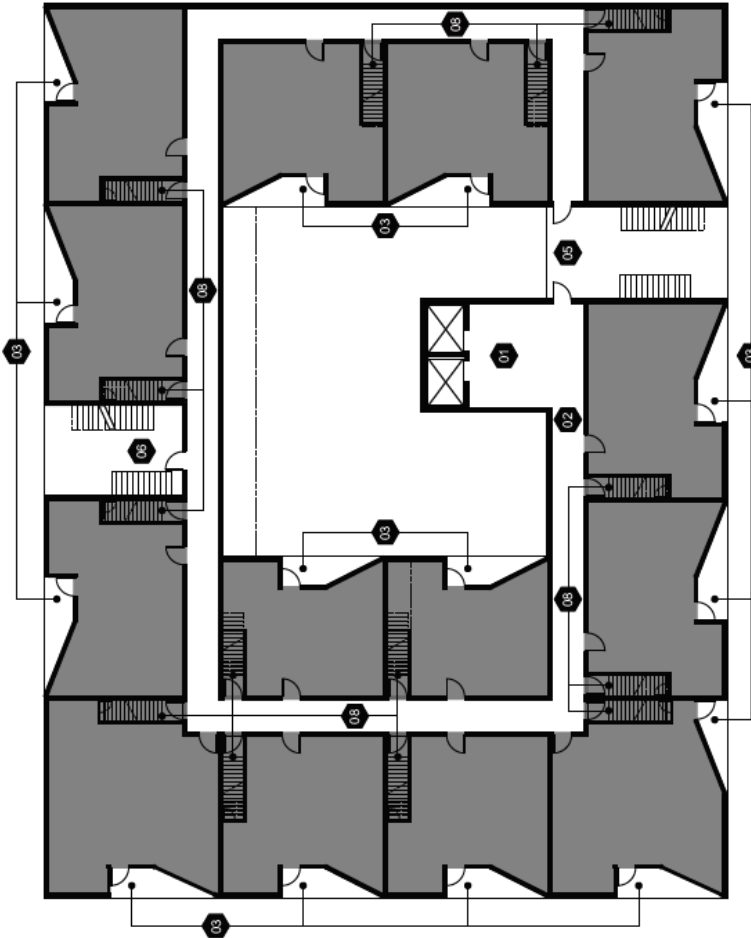
RESIDENTIAL ANNOTATIONS

- 01 RESIDENTIAL ELEVATOR LOBBY
- 02 RESIDENTIAL CORRIDOR
- 03 TAPERED BALCONY (COVERED)
- 04 TAPERED BALCONY (OPEN AIR)
- 05 EXTERIOR EXIT STAIR (ACCESS TO 30 AVENUE SW)
- 06 EXTERIOR EXIT STAIR (ACCESS TO LAKE)
- 07 SCREENED MECHANICAL EQUIPMENT
- 08 STAIR ACCESS TO UNIT ABOVE [SKIP STOP CORRIDOR]
- 09 STAIR ACCESS TO CORRIDOR BELOW [SKIP STOP CORRIDOR]

LEGEND

- COMMERCIAL RETAIL UNIT
- LIVE/WORK UNIT AND/OR DWELLING UNIT
- DWELLING UNIT
- PARKING AREA
- BUILDING SERVICE SPACE
- WASTE & RECYCLING
- MECHANICAL/ELECTRICAL ROOM

DISCLAIMER: INTERNAL DIMENSION WALLS AND STAIR ACCESS, GLAZING AND PUBLIC AREA DETAILS, AND WINDOW GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEXIBLE COMPONENTS OF THE DESIGN. THE FINAL DESIGN SHALL BE DETERMINED BY THE INDIVIDUAL BUILDING ELEMENTS SHALL BE IN GENERAL CONFORMANCE WITH THIS DRAWING PACKAGE.



LEVEL 3 PLAN

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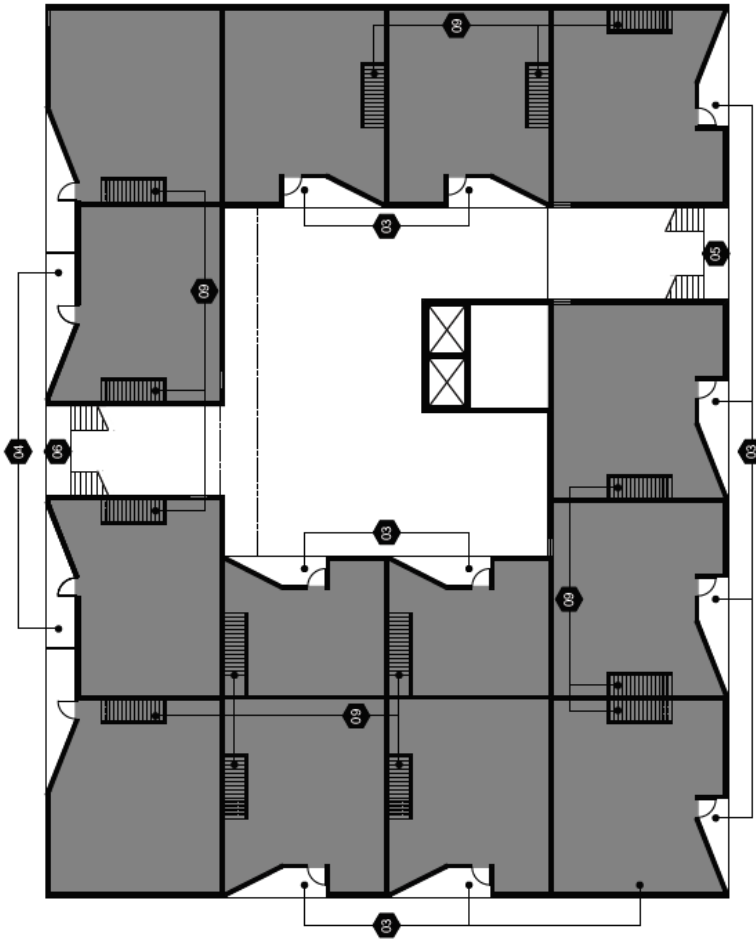
RESIDENTIAL ANNOTATIONS

- 01 RESIDENTIAL ELEVATOR LOBBY
- 02 RESIDENTIAL CORRIDOR
- 03 TAPERED BALCONY (COVERED)
- 04 TAPERED BALCONY (OPEN AIR)
- 05 EXTERIOR EXIT STAIR (ACCESS TO 38 AVENUE SW)
- 06 EXTERIOR EXIT STAIR (ACCESS TO LAKE)
- 07 SCREENED MECHANICAL EQUIPMENT
- 08 STAIR ACCESS TO UNIT ABOVE [SKIP STOP CORRIDOR]
- 09 STAIR ACCESS TO CORRIDOR BELOW [SKIP STOP CORRIDOR]

LEGEND

- COMMERCIAL RETAIL UNIT
- LIVABLE UNIT AND/OR DWELLING UNIT
- DWELLING UNIT
- PARKING AREA
- BUILDING SERVICE SPACE
- WASTE & RECYCLING
- MECHANICAL/ELECTRICAL ROOM

DISCLAIMER: INTERNAL DIMENSIONS, WALLS AND STAIR ACCESS, PRE-CESSE AND MECHANICAL EQUIPMENT LOCATIONS, LANDSCAPING AND PUBLIC AMENITY AREA DETAILS, AND WINDOW GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE NOT TO BE TREATED AS FINAL. CONTRACTORS OF THE BUILDING ARE SOLELY RESPONSIBLE FOR VERIFYING THAT ALL INDIVIDUAL BUILDING ELEMENTS SHALL BE IN GENERAL COMPLIANCE WITH THIS DRAWING PACKAGE.



LEVEL 4 PLAN

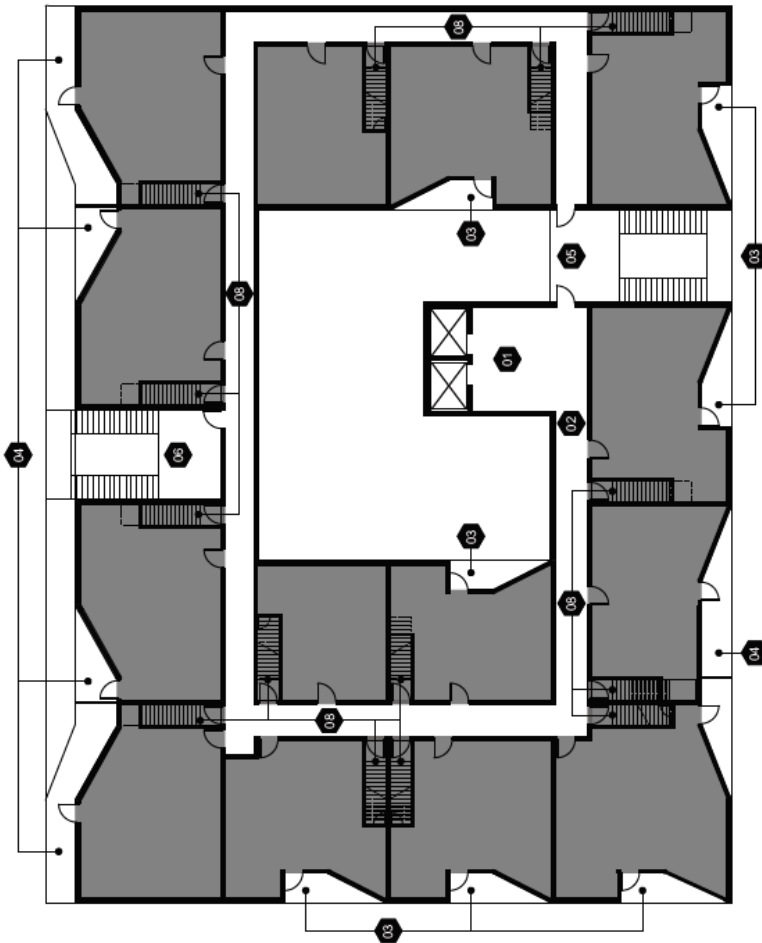
RESIDENTIAL ANNOTATIONS

- 01 RESIDENTIAL ELEVATOR LOBBY
- 02 RESIDENTIAL CORRIDOR
- 03 TAPERED BALCONY (COVERED)
- 04 TAPERED BALCONY (OPEN AIR)
- 05 EXTERIOR EXIT STAIR (ACCESS TO 31 AVENUE S W)
- 06 EXTERIOR EXIT STAIR (ACCESS TO LANE)
- 07 SCREENED MECHANICAL EQUIPMENT
- 08 STAIR ACCESS TO UNIT ABOVE (SKIP STOP CORRIDOR)
- 09 STAIR ACCESS TO CORRIDOR BELOW (SKIP STOP CORRIDOR)

LEGEND

- COMMERCIAL RETAIL UNIT
- LIVE/WORK UNIT AND/OR DWELLING UNIT
- DWELLING UNIT
- PARKING AREA
- BUILDING SERVICE SPACE
- WASTE & RECYCLING
- MECHANICAL/ELECTRICAL ROOM

DESIGNER, INTERNAL DESIGN WALLS AND STAIR ACCESS, PRESENTATION AND MECHANICAL EQUIPMENT LOCATIONS, LANDSCAPING AND PUBLIC AMENITY AREA DETAILS, AND WINDOW GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEASIBLE COMPONENTS OF THE DESIGN. THE DESIGNER'S INTENT IS TO PROVIDE AN INDIVIDUAL BUILDING ELEMENTS SHALL BE IN GENERAL CONFORMANCE WITH THIS DRAWING PACKAGE.



LEVEL 5 PLAN

AMENDMENT LOC2017-0096/CPC2018-0812
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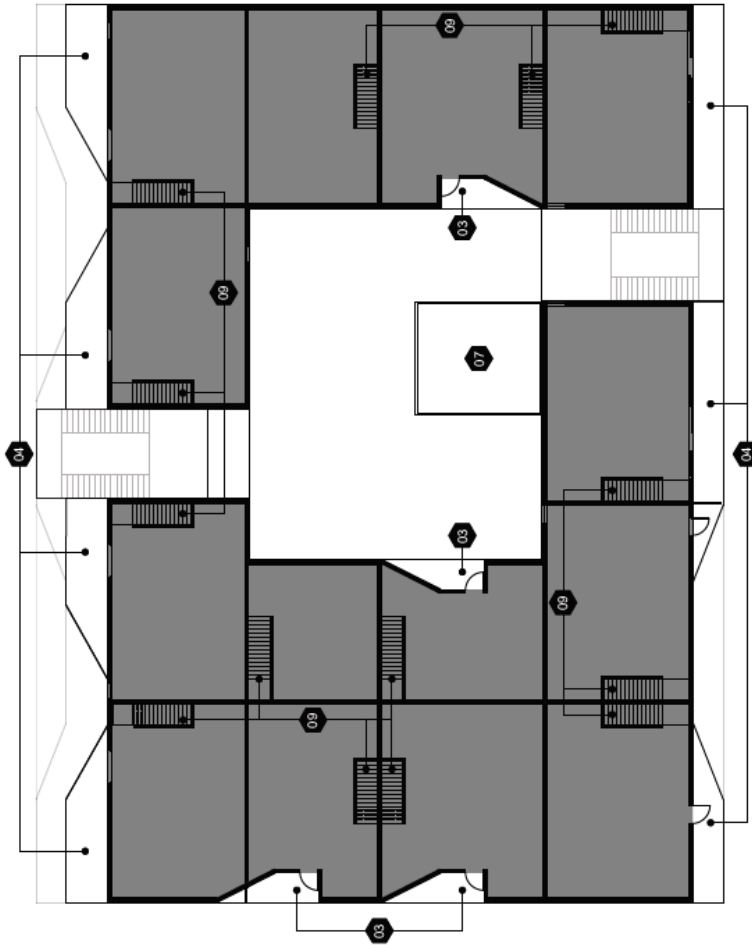
RESIDENTIAL ANNOTATIONS

- 01 RESIDENTIAL ELEVATOR LOBBY
- 02 RESIDENTIAL CORRIDOR
- 03 TAPERED BALCONY (COVERED)
- 04 TAPERED BALCONY (OPEN AIR)
- 05 EXTERIOR EXIT STAIR (ACCESS TO 33 AVENUE SW)
- 06 EXTERIOR EXIT STAIR (ACCESS TO LANE)
- 07 SCREENED MECHANICAL EQUIPMENT
- 08 STAIR ACCESS TO UNIT ABOVE (SKIP STOP CORRIDOR)
- 09 STAIR ACCESS TO CORRIDOR BELOW (SKIP STOP CORRIDOR)

LEGEND

- COMMERCIAL RETAIL UNIT
- LIVE/WORK UNIT AND/OR DWELLING UNIT
- DWELLING UNIT
- PARKING AREA
- BUILDING SERVICE SPACE
- WASTE & RECYCLING
- MECHANICAL/ELECTRICAL ROOM

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LEVEL 6 PLAN

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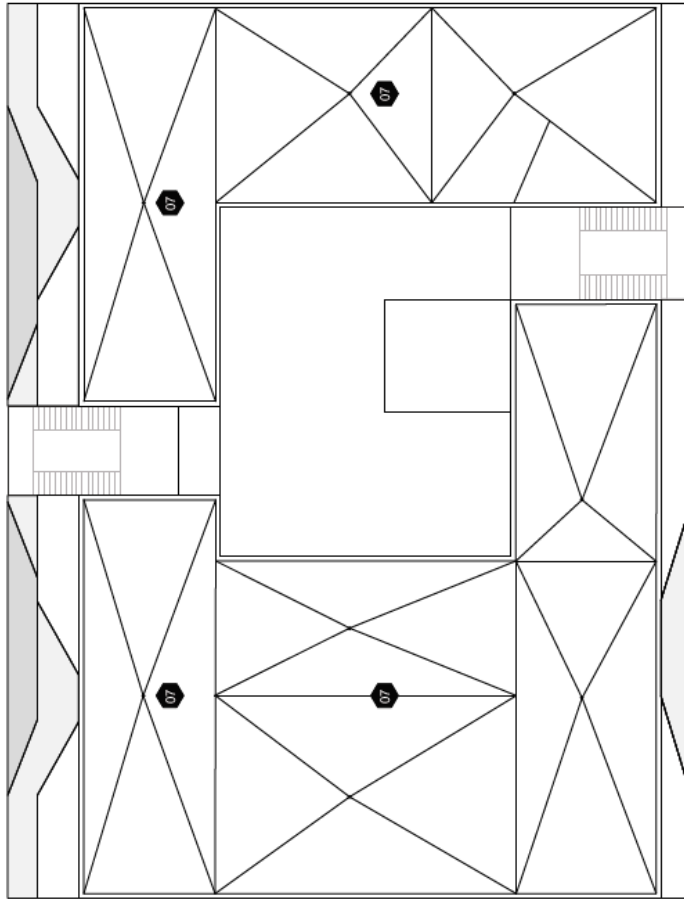
RESIDENTIAL ANNOTATIONS

- 01 RESIDENTIAL ELEVATOR LOBBY
- 02 RESIDENTIAL CORRIDOR
- 03 TAPERED BALCONY (COVERED)
- 04 TAPERED BALCONY (OPEN AIR)
- 05 EXTERIOR EXIT STAIR (ACCESS TO 38 AVENUE SW)
- 06 EXTERIOR EXIT STAIR (ACCESS TO LAKE)
- 07 SCREENED MECHANICAL EQUIPMENT
- 08 STAIR ACCESS TO UNIT ABOVE [SKIP STOP CORRIDOR]
- 09 STAIR ACCESS TO CORRIDOR BELOW [SKIP STOP CORRIDOR]

LEGEND

- COMMERCIAL RETAIL UNIT
- LIVWORK UNIT AND/OR DWELLING UNIT
- DWELLING UNIT
- PARKING AREA
- BUILDING SERVICE SPACE
- WASTE & RECYCLING
- MECHANICAL/ELECTRICAL ROOM

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ROOF PLAN

AMENDMENT LOC2017-0096/CPC2018-0812
 BYLAW NUMBER 257D2018

- GROUND FLOOR ANNOTATIONS**
- 01 PRIMARY COURTYARD ACCESS (GRAND PUBLIC STAIRCASE) FROM LEVEL 1 TO LEVEL 2
 - 02 SECONDARY COURTYARD ACCESS (PUBLIC STAIRCASE) FROM LEVEL 1 TO LEVEL 2
 - 03 ACTIVE STREET FRONTAGE WITH PRIMARY ENTRANCES LOCATED ALONG 33 AVENUE SW
 - 04 PRINCIPAL BUILDING ENTRANCE
 - 05 SUPPORT COLUMN (DOUBLE HEIGHT ARCADE)
 - 06 ACTIVE STREET FRONTAGE WITH HIGH DEGREE OF WINDOW GLAZING
 - 07 UNDERGROUND PARKADE ENTRY / EXIT
 - 08 LANE-ACTIVATING MICRO-RETAIL ENTRANCES
 - 09 ROLL-DOOR FOR GARBAGE & RECYCLING
 - 10 NEW DECIDUOUS TREE
- RESIDENTIAL ANNOTATIONS**
- 03 TAPERED BALCONY (COVERED)
 - 04 TAPERED BALCONY (OPEN AIR)
 - 05 EXTERIOR EXIT STAIR (ACCESS TO 33 AVENUE SW)
 - 06 EXTERIOR EXIT STAIR (ACCESS TO LANE)
 - 07 SCREENED MECHANICAL EQUIPMENT



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* EXTERIOR CLADDING TO CONSIST OF HIGH-QUALITY RAINSCREEN SYSTEM

SOUTH ELEVATION

AMENDMENT LOC2017-0096/CPC2018-0812
 BYLAW NUMBER 257D2018

GROUND FLOOR ANNOTATIONS

- 0.1 RAMP BY COURTYARD ACCESS (RAMP AND PUBLIC STAIRCASE) FROM LEVEL 1 TO LEVEL 2
- 0.2 SECONDARY COURTYARD ACCESS (PUBLIC STAIRCASE) FROM LEVEL 1 TO LEVEL 2

ACTIVE STREET FRONTAGE WITH PRIMARY ENTRANCES LOCATED ALONG 33 AVENUE SW

PRINCIPAL BUILDING ENTRANCE

SUPPORT COLUMN [DOUBLE HEIGHT ARCADE]

ACTIVE STREET FRONTAGE WITH HIGH DEGREE OF WINDOW GLAZING

UNDERGROUND PARKADE ENTRY / EXIT

LANE-ACTIVATING MICRO-RETAIL ENTRANCES

ROLL-DOOR FOR GARBAGE & RECYCLING

NEW DECIDUOUS TREE

RESIDENTIAL ANNOTATIONS

TAPERED BALCONY (COVERED)

TAPERED BALCONY (OPEN AIR)

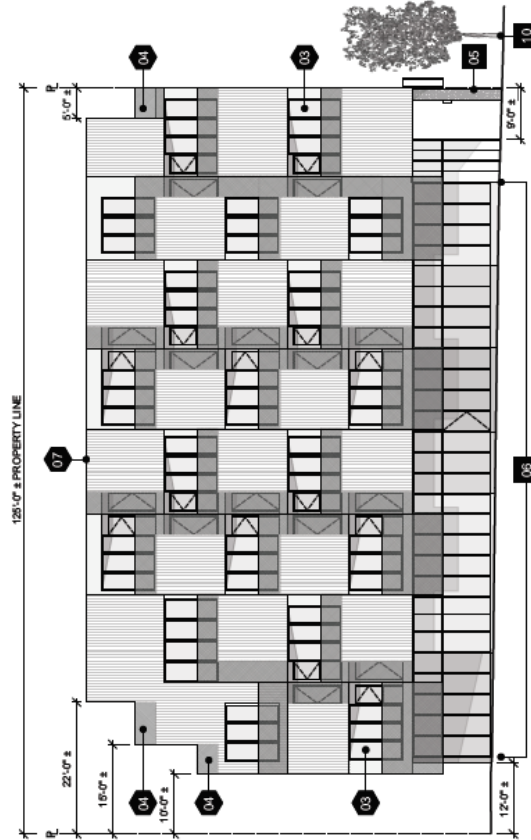
EXTERIOR EXIT STAIR (ACCESS TO 33 AVENUE SW)

EXTERIOR EXIT STAIR (ACCESS TO LANE)

SCREENED MECHANICAL EQUIPMENT

LEGEND

- SOLID PANEL
- PERFORATED PANEL



DISCLAIMER: INTERNAL DIMENSION WALLS AND STAIR ACCESS, ENTRANCES, AND EXITS ARE NOT TO SCALE. EXTERIOR FINISHES, LANDSCAPING AND PUBLIC AMENITY AREA DETAILS, AND WINDOW GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEXIBLE COMPONENTS OF THE BUILDING DESIGN. FINISHES, MATERIALS, AND COLORS OF THESE MATERIALS AND FINISHES SHALL BE DETERMINED BY THE GENERAL CONFORMANCE WITH THIS DRAWING PACKAGE.

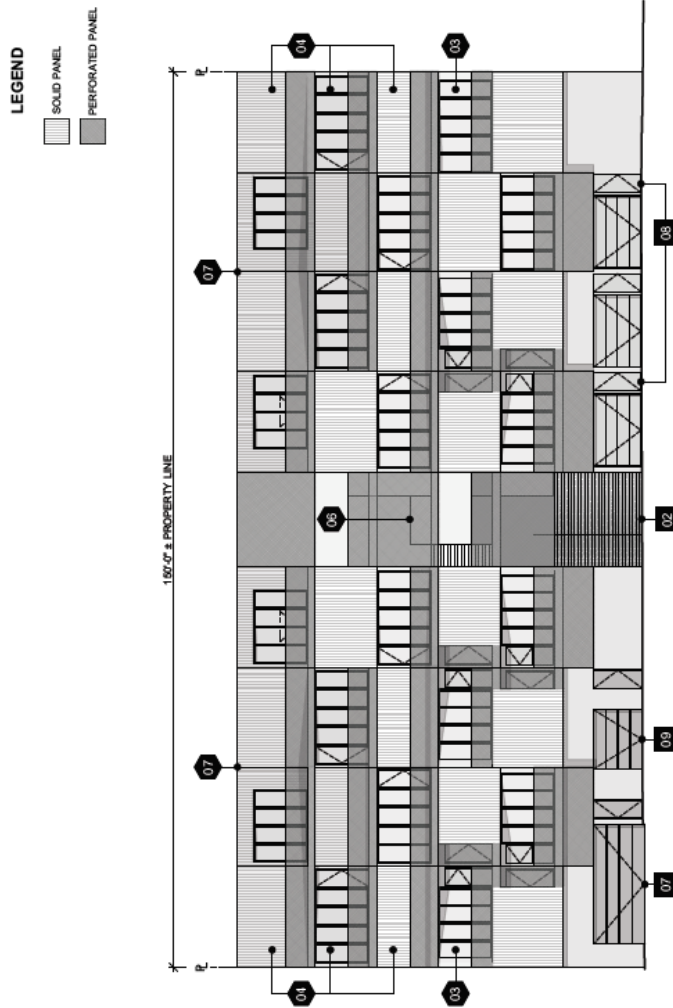
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WEST ELEVATION

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- GROUND FLOOR ANNOTATIONS**
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 - 04 PRINCIPAL BUILDING ENTRANCE
 - 05 SUPPORT COLUMN (DOUBLE HEIGHT ARCADE)
 - 06 ACTIVE STREET FRONTAGE WITH HIGH DEGREE OF WINDOW GLAZING
 - 07 UNDERGROUND PARKADE ENTRY / EXIT
 - 08 LANE-ACTIVATING MICRO-RETAIL ENTRANCES
 - 09 ROLL-DOOR FOR GARBAGE & RECYCLING
 - 10 NEW DECIDUOUS TREE
- RESIDENTIAL ANNOTATIONS**
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 - 06 EXTERIOR EXIT STAIR (ACCESS TO LANE)
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* EXTERIOR CLADDING TO CONSIST OF HIGH QUALITY RAINSCREEN SYSTEM

NORTH ELEVATION

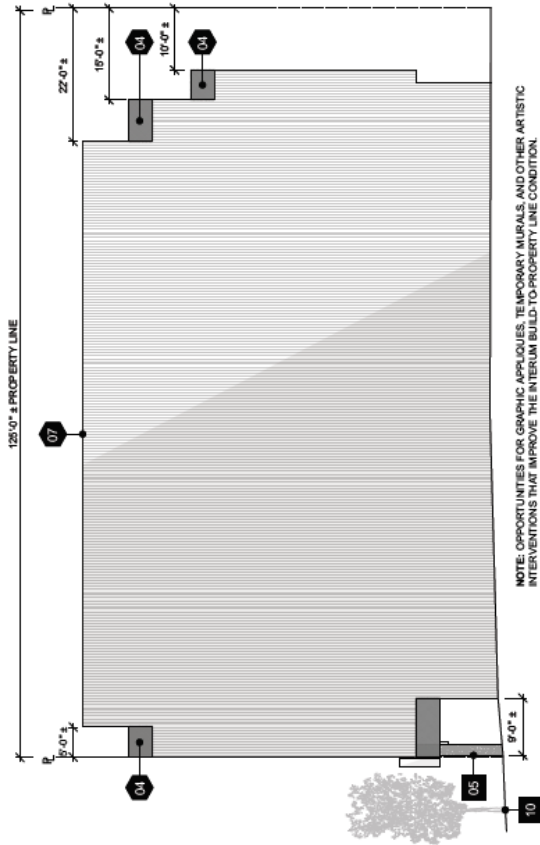
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GROUND FLOOR ANNOTATIONS

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- 08 LANE-ACTIVATING MICRO-RETAIL ENTRANCES
- 09 ROLL-DOOR FOR GARBAGE & RECYCLING
- 10 NEW DECIDUOUS TREE

LEGEND

- SOLID PANEL
- PERFORATED PANEL



RESIDENTIAL ANNOTATIONS

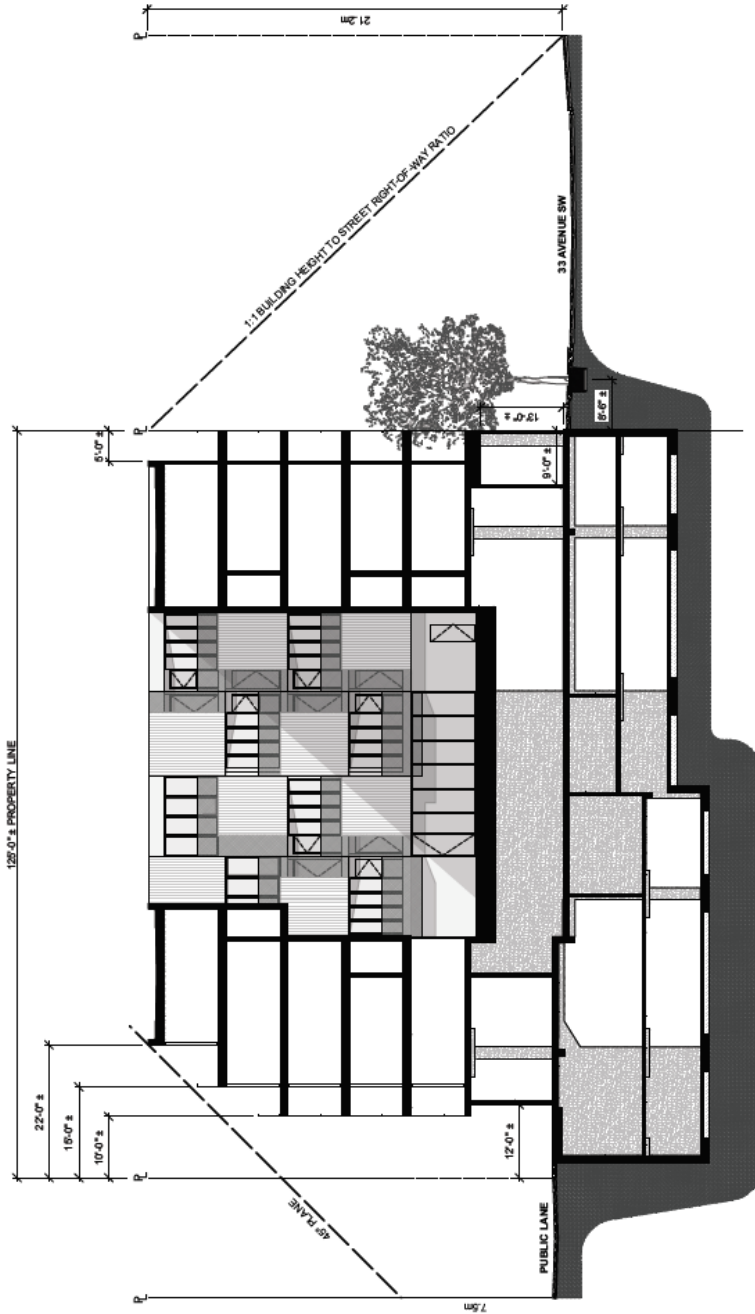
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- 04 TAPERED BALCONY (OPEN AIR)
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- 06 EXTERIOR EXIT STAIR (ACCESS TO LANE)
- 07 SCREENED MECHANICAL EQUIPMENT

DISCLAIMER: INTERNAL DENSIFYING WALLS AND STAIR ACCESS, LARGE ENTRY AND MECHANICAL EQUIPMENT LOCATIONS, WINDOW GLAZING, BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEXIBLE COMPONENTS OF THE BUILDING DESIGN. HOWEVER, THE DESIGN OF THESE ELEMENTS SHALL BE SUBJECT TO THE GENERAL PERFORMANCE WITH THIS DRAWING PACKAGE.

* EXTERIOR CLADDING TO CONSIST OF HIGH-QUALITY RAINSCREEN SYSTEM

EAST ELEVATION

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DISCLAIMER: INTERNAL DENSING WALLS AND STAIR ACCESS, STAIRS, ELEVATORS, AND CORES ARE CONCEPTUAL. LANDSCAPING AND PUBLIC AMENITY ARE DETAILS, AND WINDOW GLAZING / BALCONY CONFIGURATIONS ARE CONCEPTUAL IN NATURE AND ARE TO BE TREATED AS FLEXIBLE COMPONENTS OF THE BUILDING DESIGN. THESE DIMENSIONS AND DETAILS OF THESE INTERNAL DENSING ELEMENTS SHALL BE IN GENERAL CONFORMANCE WITH THIS DRAWING PACKAGE.

SECTION