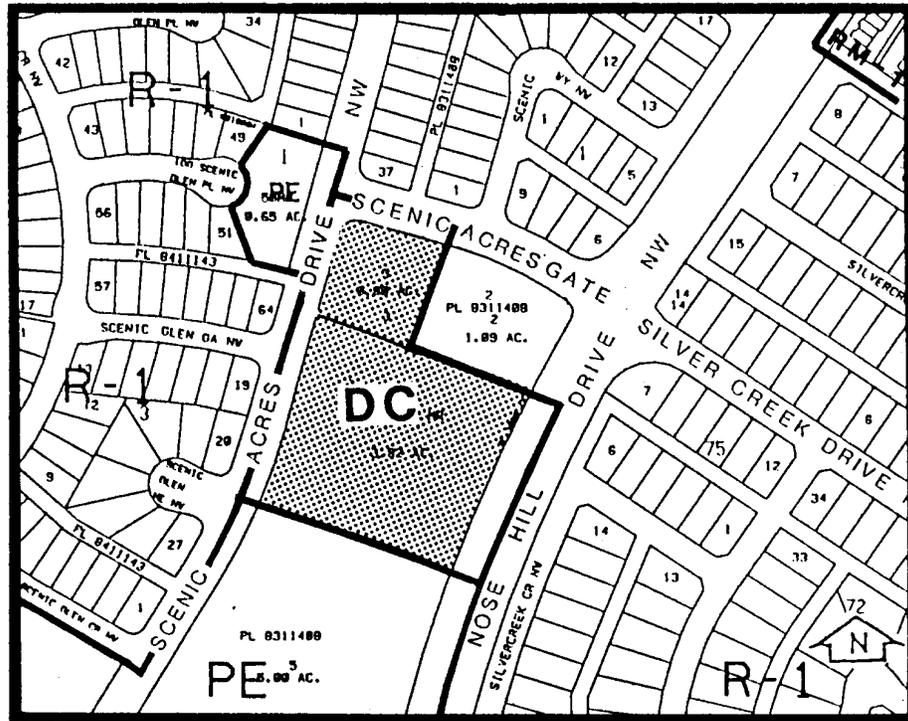


**Amendment No. 89/012**  
**Bylaw No. 105Z89**  
**Council Approval: 09 December 1991**

**SCHEDULE B**



1. Land Use

The permitted and discretionary uses of the RM-1 District shall be the permitted and discretionary uses respectively with the additional discretionary uses of single-detached and semi-detached dwellings.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-Dwelling District shall apply unless otherwise noted below.

a) Density

The density for the site shall be up to a maximum of 10 units per acre.

b) Access

All access and egress to the site shall be from Scenic Acres Drive N.W., at its intersection with Scenic Glen Gate to the satisfaction of the Approving Authority. No

vehicular access is permitted to or from Nose Hill Drive N.W. with sound attenuation requirements along Nose Hill Drive to be determined by the Approving Authority.

c) Parking

A minimum of 200% on-site parking, as well as visitor and recreational vehicle parking, shall be provided to the satisfaction of the Approving Authority.

d) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colours, landscaping, parking and access shall subsequently be submitted to the Approving Authority as part of a development permit application.