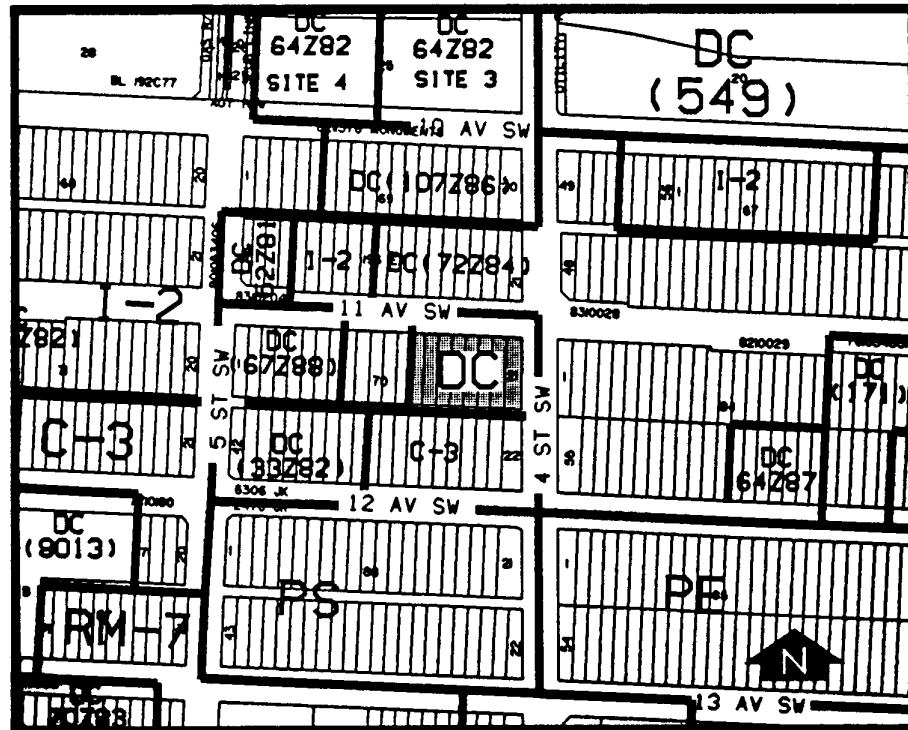


Amendment No. 92/089
Bylaw No. 15Z93
Council Approval: 08 February 1993

SCHEDULE B



1. Land Use

The land use shall be for an office building with retail and service commercial uses on the first two levels only, with the exception of the following uses having a gross floor area in excess of 120 square metres: drinking establishments, entertainment establishments, and restaurants.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the CM-2 (Central Business Commercial District), as they existed on January 17, 1983, shall apply unless otherwise noted below:

- a) Section 42(4)(b),(c) and (d) shall not apply.

b) Height

Maximum building height shall be 17 storeys not exceeding 70 metres at any eaveline (not including mechanical penthouse).

c) Coverage

Maximum building coverage of the net site shall be 53%.

d) F.A.R.

Maximum floor area ratio shall be 9.58:1. Any floor area totally or partially above grade level shall be included in the F.A.R. calculations.

e) Parking

A minimum of 184 off-street parking stalls shall be provided. As an interim use, surface parking shall be designed in conformity with the Council-approved policy guidelines.

f) +15 System

At the Development Permit stage, the developer shall at his expense, construct a +15 bridge across 11 Avenue plus all necessary infrastructure to appropriate City standards to the satisfaction of the Approving Authority. If the bridge or portions of the infrastructure cannot, in the opinion of the Approving Authority, be constructed at the time of development, a cash-in-lieu payment for the equivalent shall be made.

g) Development Plans

Approval of this application does not constitute approval of a development permit Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application. In considering such an application, the Approving Authorities shall ensure the building and site layout conform substantially to the plans and renderings submitted to City Council during their consideration of By-law #5Z83. For the interim uses of parking areas, the design shall conform with the Council-approved policy guidelines.

h) Signs

Any signage shall be in conformity with the Sign Appendix.