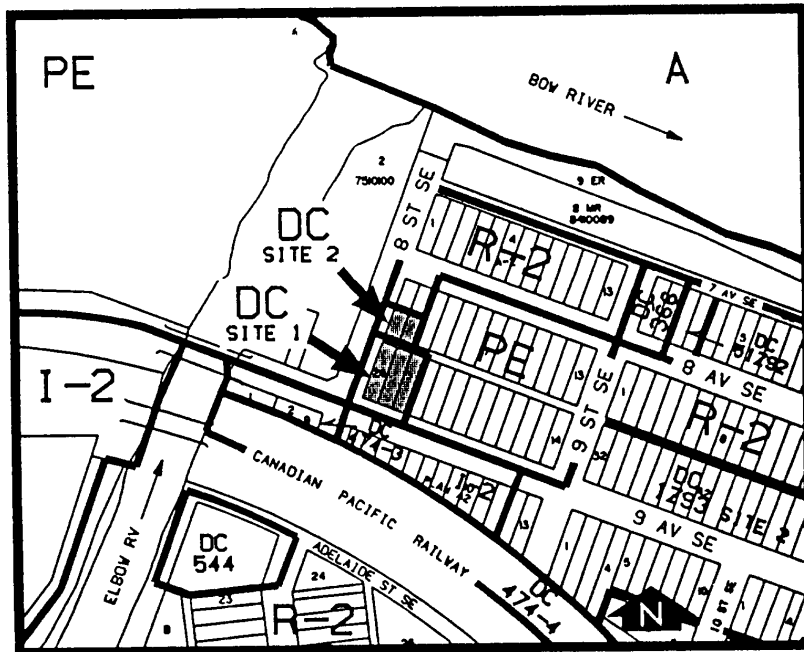


Amendment No. 93/078
Bylaw No. 24Z94
Council Approval: 14 March 1994

SCHEDULE B



SITE 1

1. LAND USE

The permitted and discretionary uses of the C-2 (20) General Commercial District shall be the permitted and discretionary uses respectively excluding the following:

- Automotive sales and rentals
- Autobody and paint shops
- Automotive services
- Automotive specialties

and including the following where they include a minimum retail component of 10% of the ground floor area:

- cleaning, servicing, testing or repairing

- manufacturing, fabricating, processing, assembly, disassembly, production or packaging of materials, goods or products

In addition, uses existing on the site on the date of passage of these by-laws shall be deemed to be discretionary as long as such uses are not interrupted or discontinued for longer than six months.

2. DEVELOPMENT GUIDELINES

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-2 (20) District shall apply.

a. Development Plans

Approval of this application does not constitute approval of a Development Permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.

b. Historical Preservation

Developments shall respect the heritage resources on site to the satisfaction of the Approving Authority.

SITE 2

1. LAND USE

The land use shall be for a surface parking lot only for the use of the building located at 812 - 8 Avenue SE.

2. DEVELOPMENT GUIDELINES

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-2 (20) District shall apply.

a. Development Plans

Approval of this application does not constitute approval of a Development Permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.