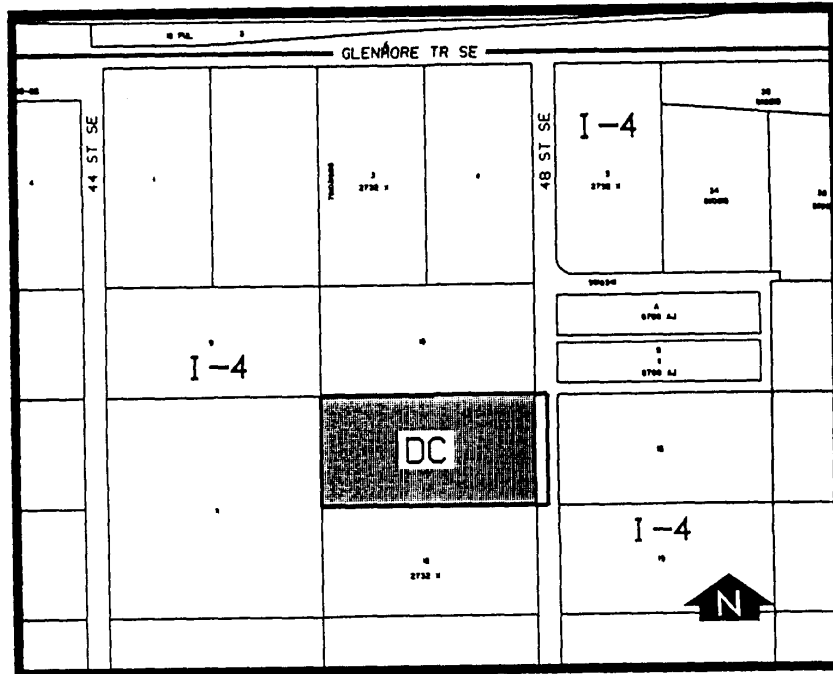


Amendment No. 93/096
Bylaw No. 3Z94
Council Approval: 11 January 1994

SCHEDULE B



1. Land Use

The Permitted and Discretionary Uses of the I-4 Limited-Serviced Industrial District of By-law 2P80 shall be the permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Industrial Districts contained in Section 43 of By-law 2P80 and the Permitted and Discretionary Use Rules of the I-4 District shall apply unless otherwise noted below.

a) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.

b) Floor Area

The maximum gross floor area shall be 3800 square metres.

c) Servicing Requirements

1. The developer will be responsible, as and when required in the sole opinion of the City Engineer, for its share of an extension of a storm sewer main in 48 Street S.E. and the construction of an upgraded gravel road to City Standards on 48 Street from 90 Avenue S.E. to the north boundary of the site. Normal endeavours to assist in partial cost recovery will apply for the storm sewer.
2. On-site stormwater management requirements will be to the satisfaction of the City Engineer.