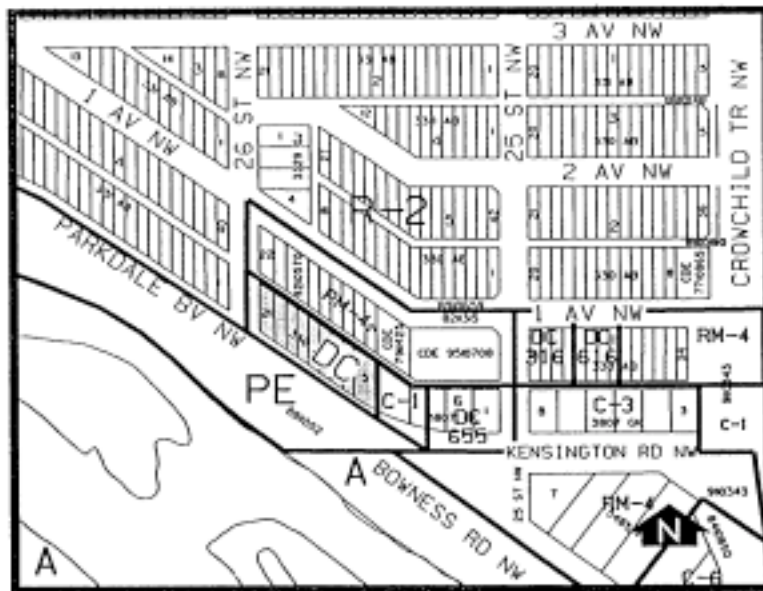


Amendment No. 95/043
Bylaw No. 90Z95
Council Approval: 02 October 1995

SCHEDULE B



1. Land Use

The permitted and discretionary uses of the C-1A Local Commercial District of Bylaw 2P80 shall be the permitted and discretionary uses respectively excluding the following uses:

- Medical clinics exceeding 1500 sq ft of gross floor area
- Restaurants exceeding 25 seats
- Veterinary clinics
- Automotive services
- Billiard Parlours
- Commercial driving schools
- Liquor stores
- Outdoor cafes

2. Development Guidelines

The general rules of commercial districts contained in Section 33 of Bylaw 2P80 and the permitted and discretionary uses rules of the C-1A Local Commercial District shall apply unless otherwise noted below.

a) Floor Areas

The following maximum gross floor areas shall apply.

- the centre shall not exceed $\pm 1051.5 \text{ m}^2$ ($\pm 11318 \text{ sq. ft.}$).
- any medical clinic shall not exceed $\pm 140 \text{ m}^2$ ($\pm 1500 \text{ sq. ft.}$).

b) Restaurant

One only, not exceeding 25 seats.

c) Access

No direct vehicular access or egress shall be permitted from or to 26 Street NW or the east-west lane except for assigned staff parking. Access to and from Parkdale Boulevard shall be right turns only. Customer access from the lane shall not be permitted.

d) Parking

A minimum of 29 parking stalls shall be provided on site. Parking stalls accessible from the lane shall be marked and assigned to staff only.

e) Signage

Not more than two freestanding pylon signs shall be allowed on the site along Memorial Drive frontage. Any new pylon sign shall not exceed the height or sign area and shall be architecturally compatible with the existing pylon sign.

f) Hours of Operation

The hours of operation of any facility on this site shall be limited to between 7:00 am and 11:00 pm daily. Prior to the approval of any development permit on this site, an agreement in a form satisfactory to the City Solicitor respecting the hours of operation, shall be entered into and registered against title.

g) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application. In considering such an application, the Approving Authorities shall ensure the building and site layout conform substantially to the plans and renderings submitted to City Council during its consideration of this bylaw.