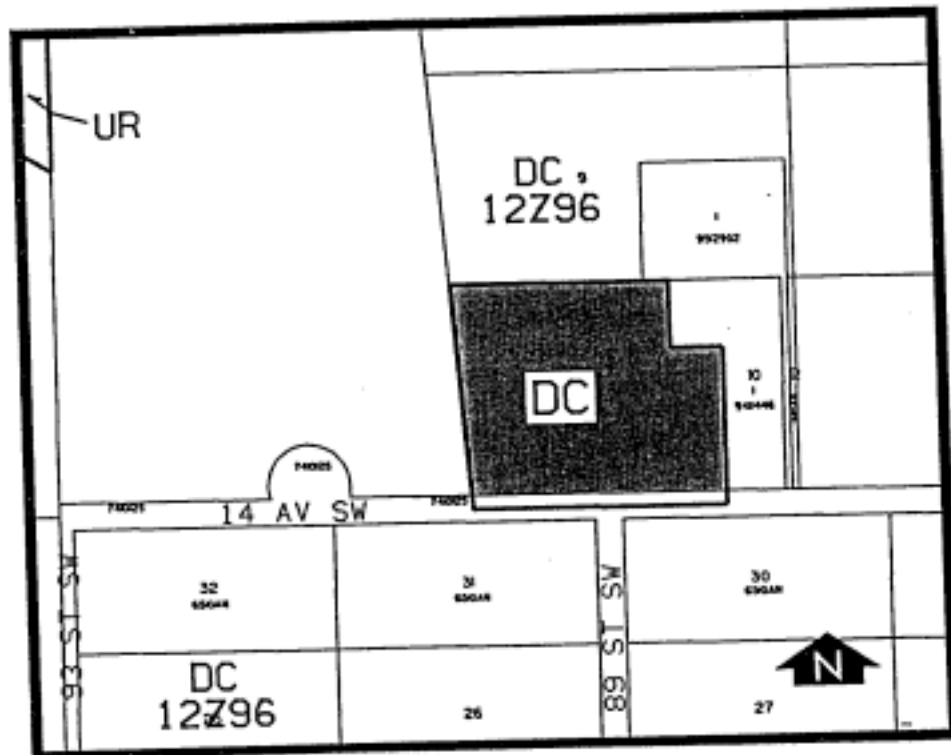


**Amendment No. 95/053**  
**Bylaw No. 56Z96**  
**Council Approval: 13 January 1997**

**SCHEDULE B**



1. Land Use

The land use shall be for single-detached dwellings and accessory buildings.

2. Development Guidelines

a. The General Rules for Special Districts contained in Section 48 of the Land Use Bylaw 2P80 and the Permitted and Discretionary Use Rules of the UR Urban Reserve District shall apply unless otherwise noted below.

b. Lot Area

For the purposes of this bylaw only, any lot existing as of 1994 July 19 may be subdivided, once only, where the purpose of the subdivision is to create one additional lot for residential development of no less than 0.2 hectare (0.5 acre).

- c. Yards  
A minimum depth of 7.5 metres.
- d. Landscaped Area  
Landscaping shall be provided in all required yards to the satisfaction of the Development Authority.
- e. Building Height  
A maximum of 10 metres.
- f. Garbage Storage  
Garbage and waste material shall be stored in weatherproof and animal-proof containers in accordance with the Waste Bylaw, and shall be visually screened from all adjacent sites and public thoroughfares.
- g. Site Development
  - i) Details respecting the provision of facilities for water, sanitary sewage disposal and storm water control for residential development shall be provided to the satisfaction of the Subdivision Authority and the Development Authority.
  - ii) At the time of subdivision referred to in subsection (2) (b) above, a conceptual scheme that relates the proposal to future subdivision and development of adjacent areas shall be provided to the satisfaction of the Subdivision Authority.
- h. Development Plans  
Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.