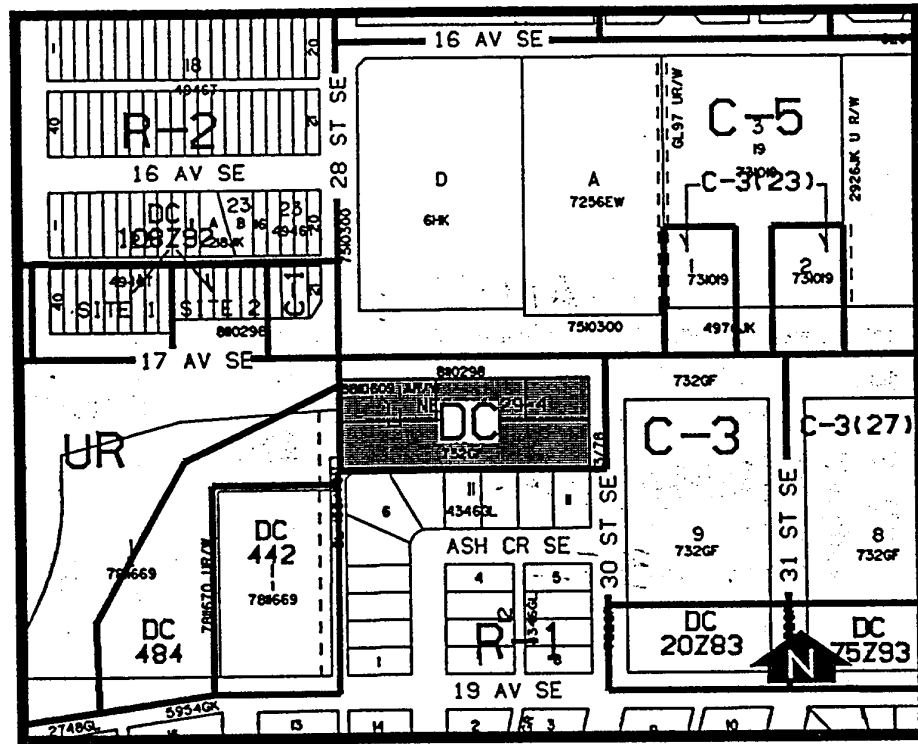


**Amendment No. 96/100
Bylaw No. 35Z97
Council Approval: 14 April 1997**

SCHEDULE B



1. Land Use

The Permitted and Discretionary Uses of the C-1A Local Commercial District shall be Permitted and Discretionary Uses respectively.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-1A Local Commercial District shall apply unless otherwise noted below.

Amendment No. 96/100

Bylaw No. 35Z97

SCHEDULE B

CONTINUED

a. Landscaping

Minimum front yard landscaping shall be 2 metres.

In addition to the general landscaping requirements, the existing mature trees along the south property line shall be preserved and the land containing the trees shall be maintained to the satisfaction of the Development Authority.

b. Parking and Loading

A total of 94 parking spaces shall be provided on site for the 1996 square metres building that existed on the date of passage of this bylaw.

No loading areas or parking spaces shall be situated between the south property line and any buildings on the site.

c. Pedestrian Access

No pedestrian access shall be provided across the rear (southerly) property line.

d. Development Restrictions - Existing Building

i. Medical clinics shall not exceed a gross floor area of 600 square metres.

ii. Restaurants shall be limited to a maximum of 3 with a total seating capacity not to exceed 111 seats and a net floor area of 200 square metres. No single restaurant shall have a capacity of more than 90 seats.

e. Freestanding Identification Signs

A maximum sign area of 14 square metres and a maximum height of 9 metres shall apply to freestanding identification signs.

**Amendment No. 96/100
Bylaw No. 35Z97**

SCHEDULE B

CONTINUED

f. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Development Authority as part of a development permit application.