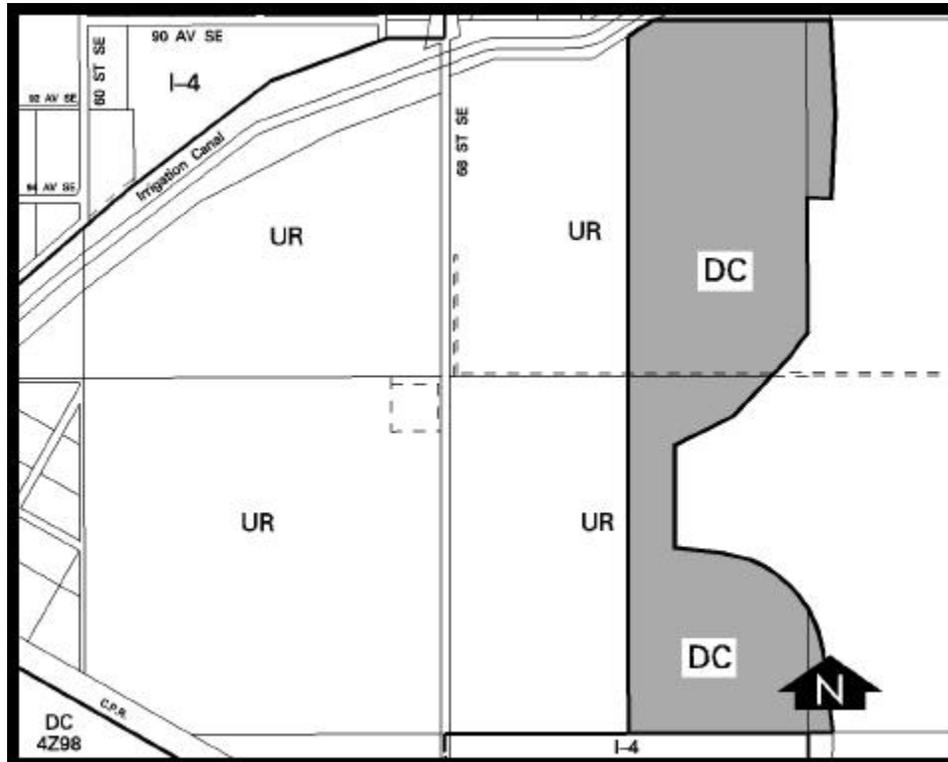


Amendment # 2001/025
Bylaw # 2Z2002
Council Approval: 2002 March 18

SCHEDULE B



DC DIRECT CONTROL DISTRICT

(1) Land Use

The Permitted and Discretionary Uses of the I-4 Limited-Serviced Industrial District shall be the Permitted and Discretionary Uses respectively.

(2) Development Guidelines

The General Rules for Industrial Districts contained in Section 43 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the I-4 Limited-Serviced Industrial District shall apply unless otherwise noted below:

(a) Front Yard

- (i) A minimum depth of 6 metres or a depth equal to half the height of the principal building whichever is the greater; and

(ii) All street frontages with the exception of the Transportation and Utility Corridor shall be considered front yards.

(b) Side Yard

Section 45(3)(g), Side Yard, of the I-2 General Light Industrial District of Bylaw 2P80 shall apply.

(c) Rear Yard

Section 45(3)(h), Rear Yard, of the I-2 General Light Industrial District of Bylaw 2P80 shall apply.

(d) Landscaped Area

Section 45(3)(j), Landscaped Area, of the I-2 General Light Industrial District of Bylaw 2P80 shall apply.

(e) Transportation and Utility Corridor Setback

(i) Notwithstanding (a), (b) and (c) above, the minimum setback for buildings from the Transportation and Utility Corridor shall be 50 metres;

(ii) The setback area required under (e)(i) above shall be landscaped to the satisfaction of the Approving Authority; and

(iii) Screening to a minimum height of 2 metres within the setback area required under (e)(i) above shall be provided by means of a fence, a berm or soft landscaping, or a combination thereof, to the satisfaction of the Approving Authority.

(f) Irrigation Canal Setback

(i) Notwithstanding (a), (b) and (c) above, the minimum setback for buildings from the Western Headworks Irrigation Canal shall be 15 metres; and

(ii) The setback area required under (f)(i) above shall be landscaped to a minimum depth of 7.5 metres to the satisfaction of the Approving Authority.

(g) Gross Floor Area

The maximum gross floor area of allowable development on the entire site that is the subject of this Bylaw is 22668 square metres (244000 square feet). Any development over and above the 22668 square metres (244000 square feet) requires the submission of an updated traffic impact study and shall be to the satisfaction of the General Manager, Planning and Transportation Policy.