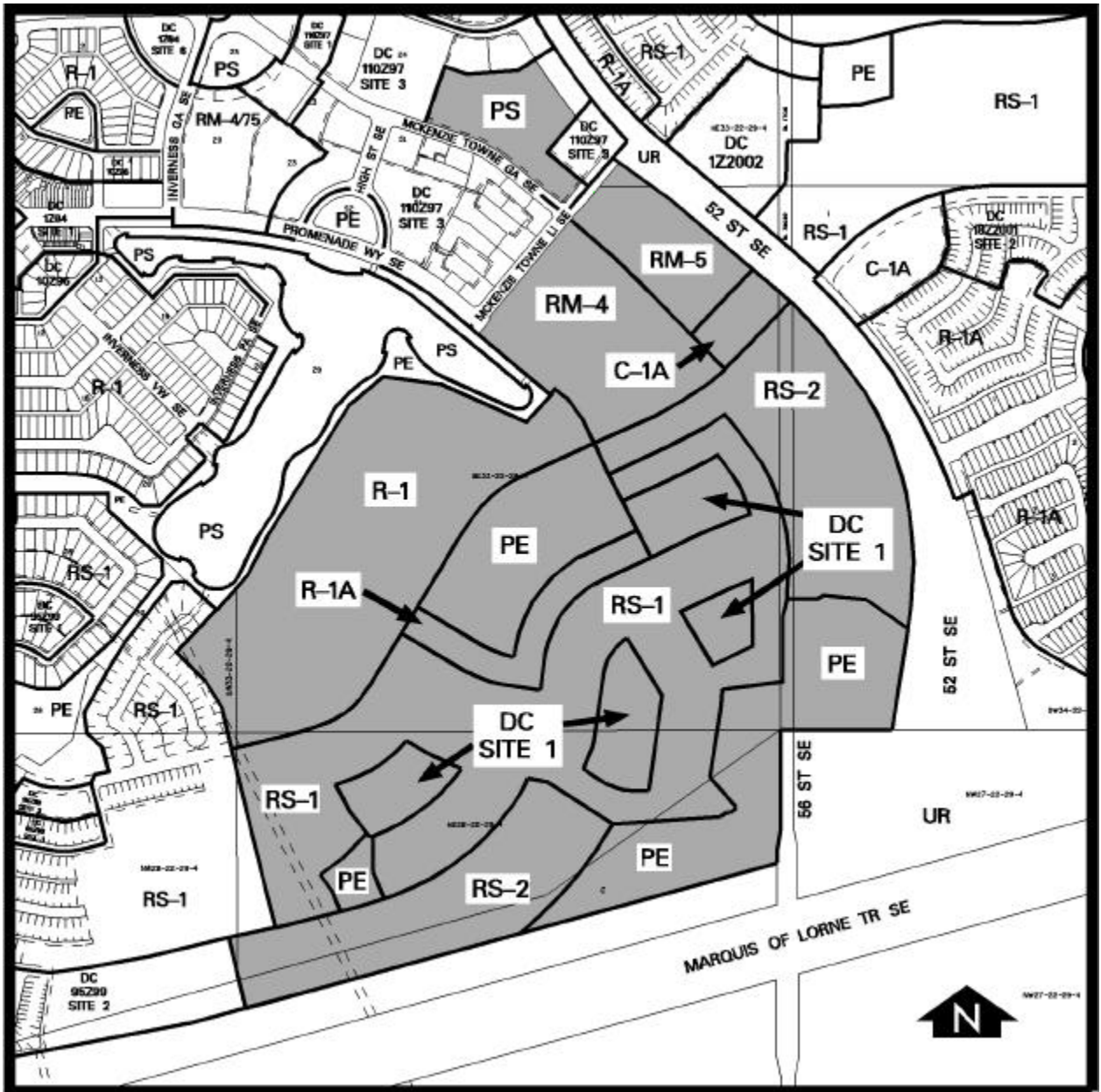


Amendment # LOC2003-0052
Bylaw # 104Z2003
Council Approval: 2003 October 14

SCHEDULE B



DC DIRECT CONTROL DISTRICT

1. Land Use

The Permitted and Discretionary Uses of the R-2 Residential Low Density District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively with the additional Permitted Use of “studio suites.”

For the purpose of this bylaw, “studio suite” means an additional dwelling unit with a separate direct access to grade, situated entirely above the first storey of a private garage. The secondary dwelling unit may be accessed from the rear lane.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the R-2 Residential Low Density District shall apply unless otherwise noted below.

(a) Studio Suite

(i) Notwithstanding Section 20(5)(g)(i) of Bylaw 2P80, a studio suite may be located above a private garage, but no part of the garage may be used as part of a studio suite.

(ii) Lot Dimensions

Studio suites may only be located on lots containing single-detached dwellings, and having the following dimensions:

A) Lot Width

A minimum of 11 metres.

(B) Lot Depth

A minimum depth of 33 metres.

(C) Lot Area

A minimum area of 363 square metres.

(iii) Side Yard

A minimum of 1.2 metres for a private garage containing a studio suite.

(iv) Rear Yard

A minimum of 1.5 metres for a private garage containing a studio suite.

(v) Building Height

A maximum of 9 metres for a private garage containing a studio suite.

(vi) Floor Area

The gross floor area of a studio suite shall not exceed 70 square metres.

(vii) Separation from Principle Dwelling

A private garage containing a studio suite shall be a minimum of 5 metres from the principle dwelling.

(viii) Outdoor Amenity Space

An outdoor amenity space with a minimum area of 25 square metres and a minimum dimension of 5 metres shall be provided at grade, to the rear of the principle dwelling.

(b) Lot Mix

For the purposes of determining lot mix in accordance with Section 23(3)(d.1)(ii), lots capable of accommodating a studio suite shall not be identified as single-detached lots on the tentative plan, but shall be identified as studio suite lots.

(c) Parking

A minimum of two parking stalls per residential lot as shown on a plan of subdivision.

(d) Lane

Vehicular access to each unit shall be provided from the lane.