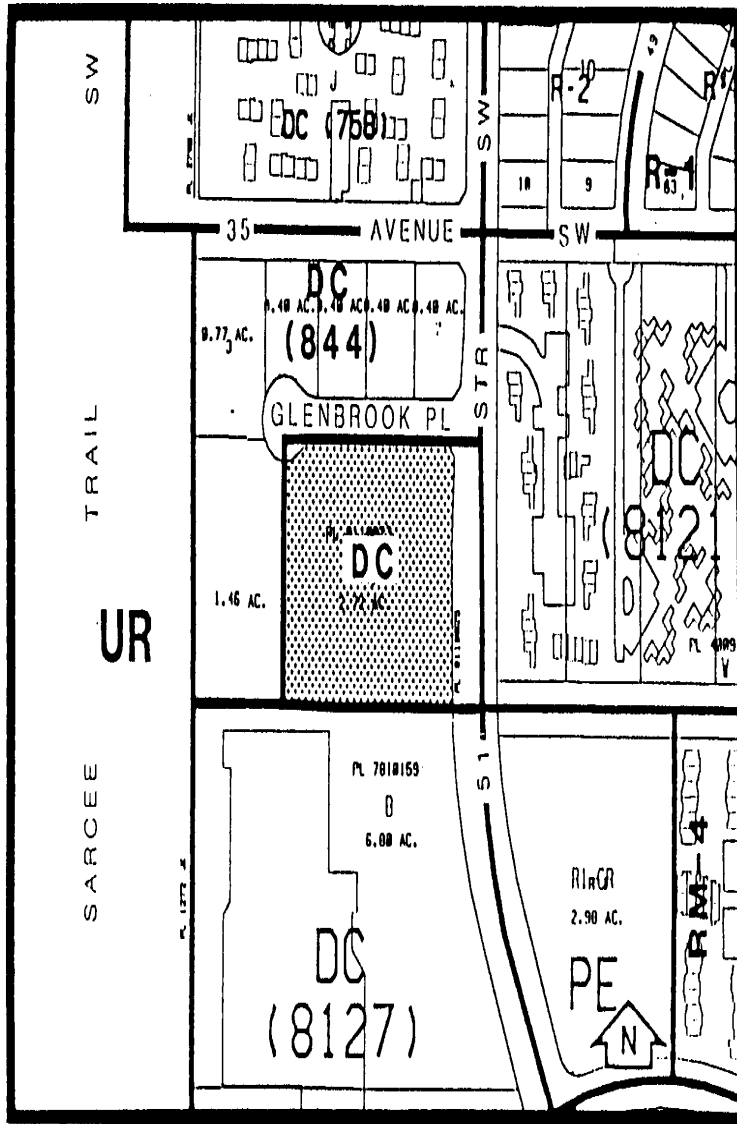


**Amendment No. 89/020**  
**Bylaw No. 59Z89**  
**Council Approval: 19 June 1989**

**SCHEDULE B**



1. Land Use

The land use shall be for office/retail uses including a medical/dental component and a gas bar.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the permitted and discretionary use rules of the C-2 District shall apply unless otherwise noted below.

a) Height

Maximum building height shall be in the order of 60 feet.

b) Coverage

- i) Maximum building coverage of the net site shall be 20%.
- ii) Gross floor area not to exceed 146,000 square feet.

c) Medical/Dental

The medical/dental component shall not exceed 10,000 square feet gross.

d) Landscaping

Landscaping shall include any adjacent city boulevards and a detailed landscaping plan shall be submitted to and approved by the Approving Authority prior to the approval of a development permit. Such landscaping will include a 25 foot buffer adjacent to 35 Avenue S.W. Screening and/or berming treatment to be to the satisfaction of the Approving Authority.

e) Parking

Off-street parking facilities shall be provided in accordance with the approved City of Calgary standards which are in effect at the time of application for a development permit.

f) Access

No direct vehicular access will be permitted to either 35 Avenue S.W. or Sarcee Trail.

g) Road Requirements

The applicant will provide, at no cost to the City, the land required to increase 51 Street S.W. to a major standard to the applicant's point of access and tapered back to collector standard at 35 Avenue S.W.

h) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes, color, landscaping, parking and access shall subsequently be submitted to the Approving Authorities as part of a development permit application.