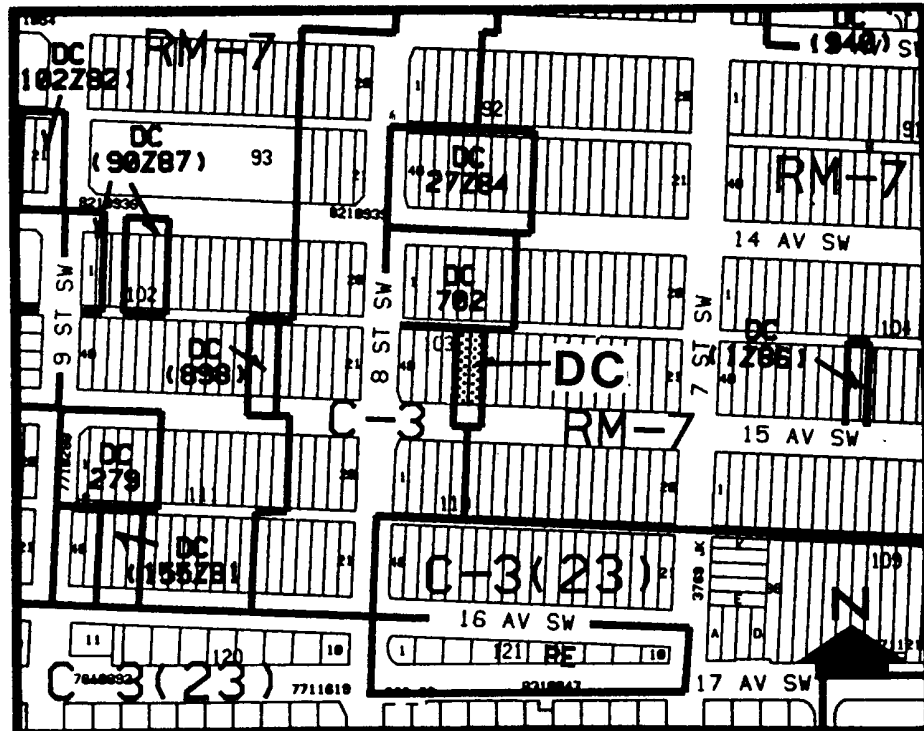


Amendment No. 90/079
Bylaw No. 114Z90
Council Approval: 10 September 1990

SCHEDULE B



1. Land Use

The permitted and discretionary uses of the RM-7 (Residential High Density Multi-Dwelling District) shall be the permitted and discretionary uses respectively, with the additional discretionary use of offices (not including medical or dental offices) and retail uses, confined to the building existing on the site on the date of passage of this by-law.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-7 (Residential High Density Multi-Dwelling District) shall apply unless otherwise noted below.

a. Parking

Parking for office and retail uses shall be as required by Section 18 of By-law 2P80 and shall only be located to the rear of the building.

b. Outside Storage

No material, equipment nor commercial vehicles shall be allowed on the site.

c. Signage

The location, size and quality of signage must not detract from the residential character of the street.

d. Landscaping

Landscaping must be of a residential character.

e. Accessory Use

At the discretion of the Approving Authority, accessory clothing design and manufacture for on-site sales only, may be allowed.

f. Development Plans

Approval of this application does not constitute approval of a Development Permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and access shall be subsequently submitted to the Approving Authority as part of a Development Permit application.