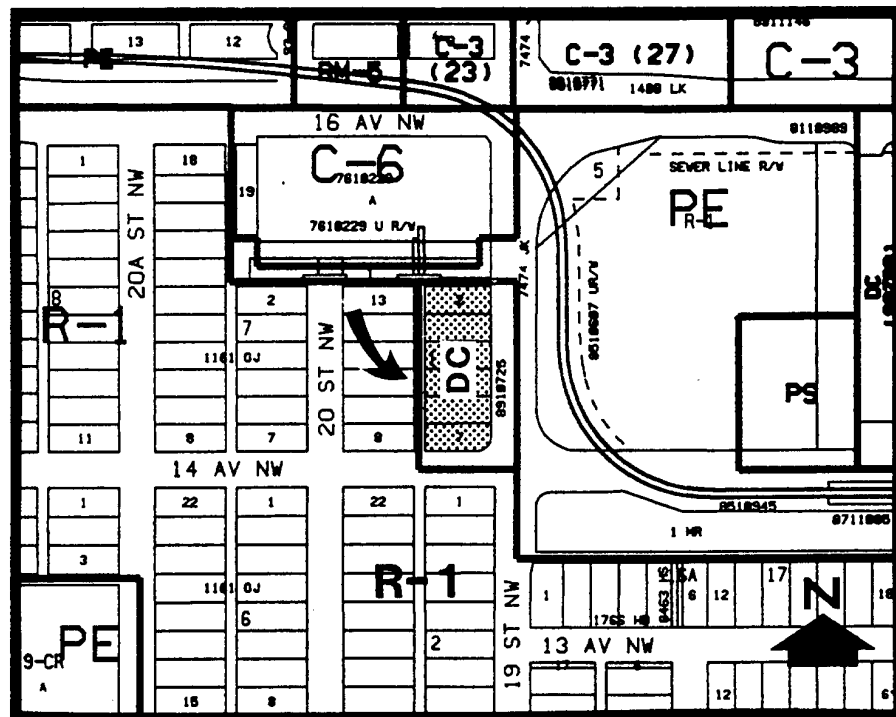


**Amendment No. 89/144**  
**Bylaw No. 34Z90**  
**Council Approval: 09 April 1990**

**SCHEDULE B**



1. Land Use

The following discretionary uses may be allowed:

Financial institutions, medical clinics, offices, veterinary clinics, commercial schools, retail stores (local commercial), personal service businesses (excluding escort agencies and massage parlors) and signs.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-1 Local Commercial District shall apply unless otherwise noted below:

a) Building Design

The design character and appearance of the development shall reflect the "village character" presented in the plans forming part of this land use application and By-law 125Z87. The building finish along the lane shall be of maintenance free materials.

b) Height

Maximum building height shall be one storey with all rooftop mechanical equipment suitably screened.

c) Parking

At grade parking shall be provided on site to the satisfaction of the Approving Authority.

d) Landscaping

Landscaping shall be provided to the satisfaction of the Approving Authority. Landscaping requirements along 19 Street shall be provided on lands not identified as by-lawed setback areas. In addition any undeveloped setback areas shall be landscaped.

e) Access

Access and egress to the site shall be to the satisfaction of the Approving Authority with 19 Street N.W. having right turns in and out only. No use shall gain direct access to or from the lane. If, in the opinion of the Director of Transportation, the access to 14 Avenue N.W. proves to be unacceptable, that access may be restricted to right turns only.

f) Signs

A comprehensive signage plan compatible with the site location shall be submitted to the satisfaction of the Approving Authority.

g) Development Plans

i) A Development Permit shall be obtained for change of use of individual retail stores.

ii) Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.