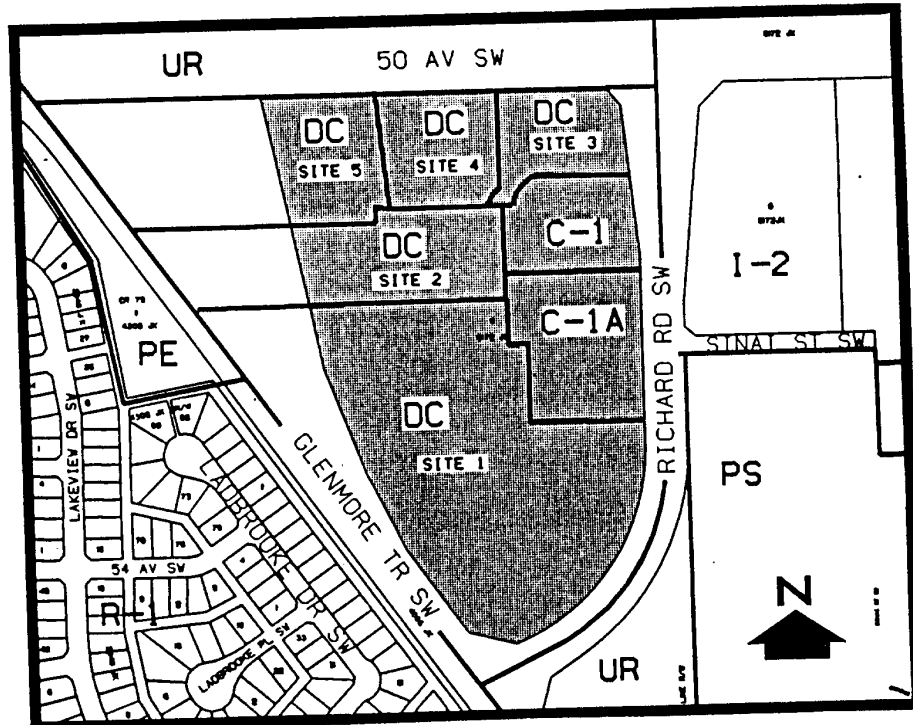


Amendment No. 92/026
Bylaw No. 109Z92
Council Approval: 10 May 1993

SCHEDULE B



Site 1 - 5.14 ha. (12.7 ac.+/-)

1. Land Use

The permitted and discretionary uses of the C-5 Shopping Centre Commercial District shall be permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-5 Shopping Centre Commercial District shall apply unless otherwise noted below.

a) F.A.R.

Maximum floor area ratio shall be 0.35:1. Any floor area totally or partially above grade level shall be included in the F.A.R. calculations.

- b) Development Plans
Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.

Site 2 - 1.06 ha. (2.62 ac +/-)

1. Land Use

The permitted and discretionary uses of the C-2(12) General Commercial District shall be permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Commercial District contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-2(12) General Commercial District shall apply unless otherwise noted below.

- a) F.A.R.

Maximum floor area ratio shall be 0.5:1. Any floor area totally or partially above grade level shall be included in the F.A.R. calculations.

- b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.

Site 3 - 0.88 ha. (2.18 ac. +/-)

1. Land Use

The permitted and discretionary uses of the C-4(23) General Commercial District shall be permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-4(23) General Commercial District shall apply unless otherwise noted below.

- a) Gross Floor Area

A maximum of 2 times the site area.

- b) Residential Component

A minimum of 25 percent of the gross floor area of the building or buildings on the site shall be used for residential dwelling units

c) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.

Site 4 - 0.81 ha. (2.0 ac. +/-)

1. Land Use

The permitted and discretionary uses of the RM-4 Residential Medium Density Multi-dwelling District shall be permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-dwelling District shall apply unless otherwise noted below.

a) Landscaped Area

A minimum of 45 percent of the site area; with a minimum of 15 percent of the total landscaped area being between the south property line and a parallel line across the site marking the southern most extension of any building. This larger portion of the landscaped area shall contain playground equipment and/or yard furniture reflective of the occupancy expected within the development.

b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.

Site 5 - 0.85 ha. (2.1 ac. +/-)

1. Land Use

The permitted and discretionary uses of the RM-6 Residential High Density Multi-dwelling District shall be permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-6 Residential High Density Multi-dwelling District shall apply unless otherwise noted below.

a) Landscaped Area

A minimum of 40 percent of the site area; with a minimum of 10 percent of the total landscaped area being between the south property line and a parallel line across the site marking the southern most extension of any building. This larger portion of the landscaped area shall contain playground equipment and/or yard furniture reflective of the occupancy expected within the development.

b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application.