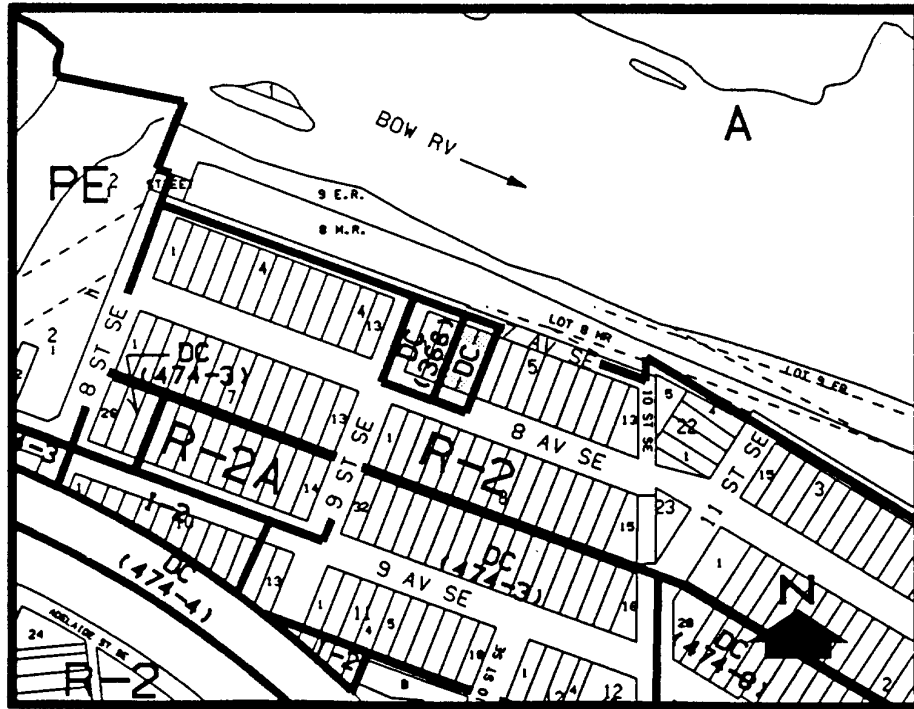


Amendment No. 92/015
Bylaw No. 51Z92
Council Approval: 15 June 1992

SCHEDULE B



1. Land Use

The Permitted and Discretionary Uses of the R-2 Residential Low Density District of By-law 2P80 shall be the Permitted and Discretionary uses respectively with the additional Discretionary Use of a bed and breakfast development.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the R-2 Residential Low Density District shall apply unless otherwise noted below.

a. Density

The maximum density shall be for 6 bed and breakfast accommodation units.

b. Vehicular Access and Egress

Access and egress shall be determined at the time of application for a development permit to the satisfaction of the Approving Authority with guest parking accessing from 8 Avenue.

c. Parking

The design, location and treatment of parking areas shall be such that surrounding residential uses are not adversely affected, to the satisfaction of the Approving Authority.

d. Fencing, Landscaping and Garbage Storage

Fencing, landscaping and garbage storage shall be to the satisfaction of the Approving Authority.

e. Floodway and Floodplain Special Regulations

The development shall conform with appropriate City of Calgary Floodway and Floodplain Special Regulations, Section 19.1 of By-law 2P80, to the satisfaction of the Approving Authority.

f. Garbage Storage

Garbage enclosures shall be integrated with the building and visually screened from all adjacent sites and public thoroughfares.

g. Signage

Signage shall be limited in size, design and location and must be compatible with the residential neighbourhood to the satisfaction of the Approving Authority.

h. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application. In considering such an application, the Approving Authority shall ensure the building design and site layout are consistent with the plans and renderings submitted to City Council during their consideration of this By-law.