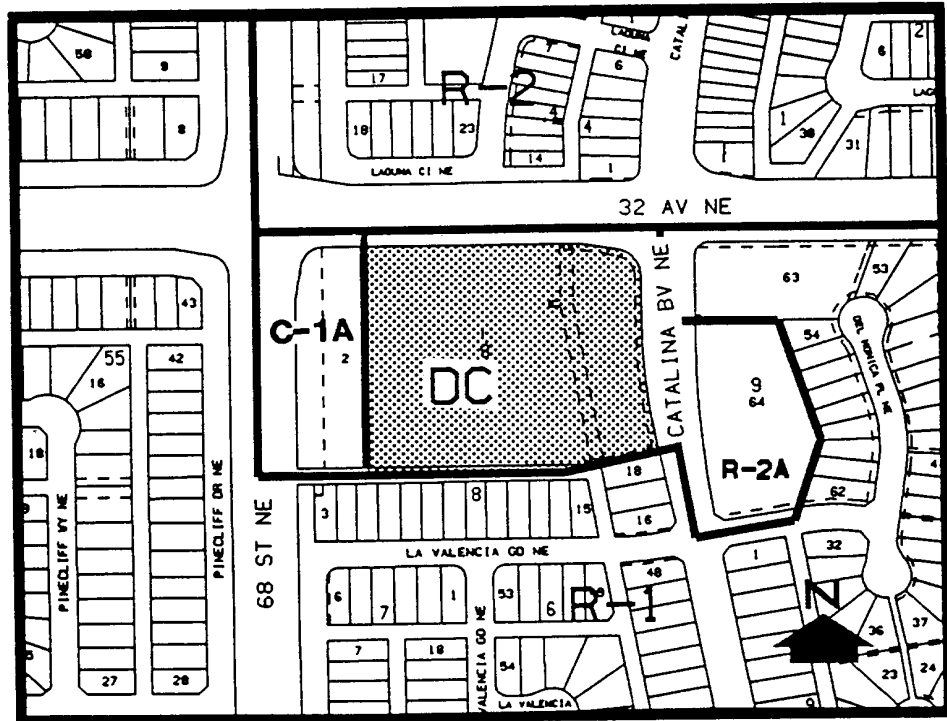


**Amendment No. 91/077**  
**Bylaw No. 79Z92**  
**Council Approval: 20 July 1992**

**SCHEDULE B**



1. Land Use

The Permitted and Discretionary Uses of the RM-1 District of By-law 2P80 shall be the Permitted and Discretionary uses respectively with the additional Discretionary Use of semi-detached dwellings and a recreational/amenity building for the exclusive use of the residents of the complex.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-1 District shall apply unless otherwise noted below.

a. Dwelling Units

The maximum number of dwelling units shall be 40.

b. Landscaping

A minimum of 40 percent of the site plus all adjoining City boulevards shall be landscaped and a detailed landscaping plan shall be submitted to the Approving Authority as part of a development permit application.

c. Vehicular Access and Egress

Access and egress shall be determined at the time of application for a development permit to the satisfaction of the Approving Authority. No direct vehicular access or egress shall be permitted to or from 32 Avenue or the adjoining lane to the south.

d. Parking

Parking provided on-site shall not be less than the minimum requirements of By-law 2P80, to the satisfaction of the Approving Authority with a minimum of 8 visitor parking stalls being provided and designated as such.

e. Fencing/Screening

Uniform fencing shall be installed along the west, north and south boundary's of the site, to the satisfaction of the Approving Authority, that will also respond to needs identified by a Noise Analysis.

f. Garbage Storage

Garbage enclosures shall be integrated within the development and shall be visually screened from all adjacent sites and public thoroughfares.

g. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.