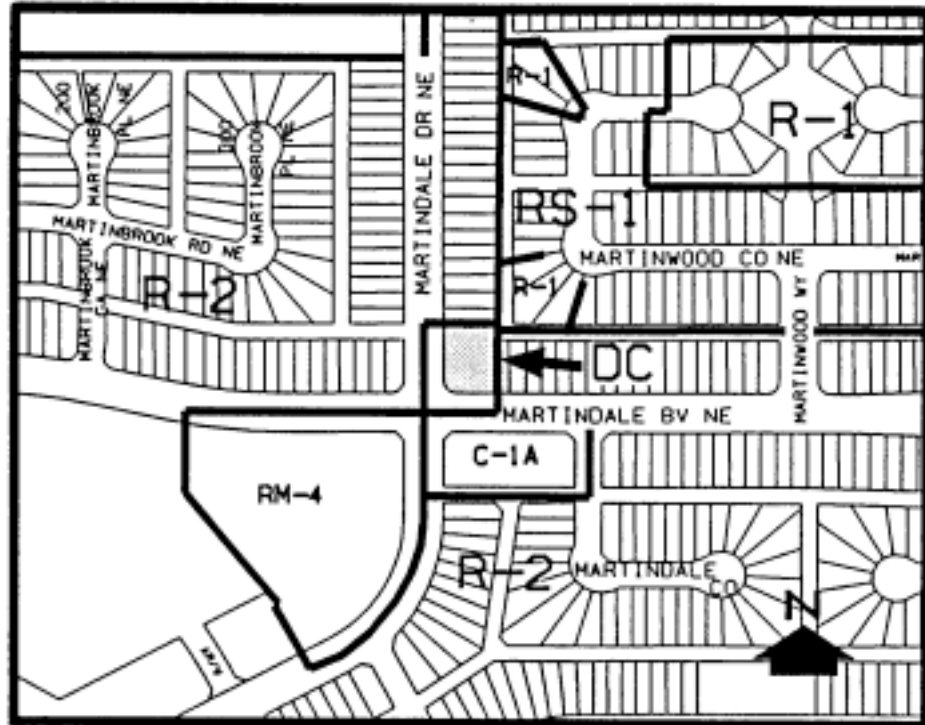


**Amendment No. 92/046**  
**Bylaw No. 84Z92**  
**Council Approval: 14 September 1992**

**SCHEDULE B**



1) Land Use

The land use shall be for a medical clinic, an associated pharmacy, offices and personal service businesses. For the purposes of this by-law, a pharmacy means a retail store for the sale of medical and health related products and does not include the sale of foodstuffs and convenience goods which would normally be supplied in a grocery store (convenience store), and in a retail food store.

2) Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of By-law 2P80 and the Permitted and Discretionary Use Rules of the C-1 Local Commercial District shall apply unless otherwise noted below.

a) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a

development permit application. In considering such an application, the Approving Authority shall ensure the building design and site layout are consistent with the plans and renderings submitted to City Council during their consideration of this By-law.

b) Vehicular Access and Egress

No direct vehicular access or egress shall be permitted from or to the rear lane.

c) Garbage Storage

The garbage enclosures shall be integrated with the building and visually screened from all adjacent sites and public thoroughfares.

d) Signage

Signage shall be limited in size, design and location and must be compatible with the residential neighbourhood to the satisfaction of the Approving Authority.

e) Medical Clinic

The maximum gross floor area of the medical clinic shall be 287 square metres.

f) Pharmacy

The maximum gross floor area of the pharmacy shall be 150 square metres.

g) Gross Floor Area

The maximum gross floor area shall be 437 square metres.

h) Parking

The parking provided shall be 14 stalls on the site.