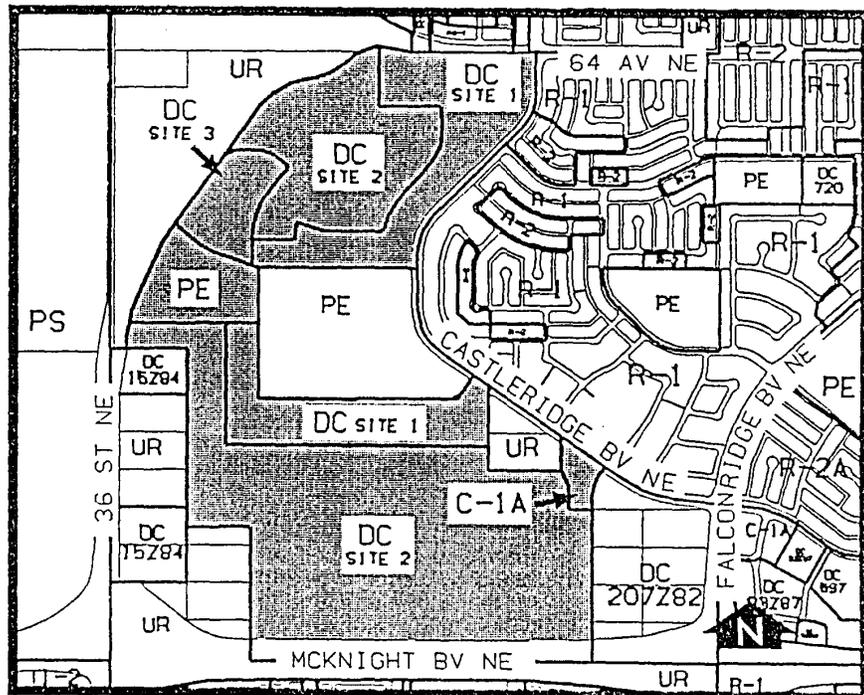


**Amendment No. 91/021  
Bylaw No. 103Z94  
Council Approval: 13 March 1995**

**SCHEDULE B**



- (i) Sites 1 and 2  
25.6 ha.± (63.3 ac.±) and 72 ha.± (178 ac.±) respectively

1) Land Use

The land use shall be for the permitted and discretionary uses listed below only:

Permitted Uses

Essential public services  
Parks and playgrounds  
Utilities

Except where a site within Site 1 of this DC District abuts Castleridge Boulevard N.E. and 64 Avenue N.E., the following uses shall be permitted within existing buildings.

Notwithstanding the foregoing, where a site within this DC District does not abut Castleridge Boulevard N.E., 64 Avenue N.E., Prairie Winds Park, or a freeway or an expressway, the following uses shall be permitted.

- Accessory uses
- Ancillary commercial uses
- Auction halls
- Athletic and recreational facilities
- Auto body and paint shops
- Automotive sales and rentals
- Automotive services
- Automotive specialities
- Cleaning, servicing, testing or repairing
- Crematoriums and columbariums
- Freestanding identification signs
- Grocery stores
- Laboratories
- Manufacturing, fabricating, processing, assembly, disassembly, production or packaging of materials, goods or products
- Mechanical reproduction and printing establishments
- Movement or storage of materials, goods or products
- Offices
- Parking areas and structures
- Radio and television studios
- Recreational and commercial vehicle repair, service, sales and rental
- Signs (freestanding identification)
- Veterinary clinics
- Veterinary hospitals

#### Discretionary Uses

Where a site abuts Castleridge Boulevard N.E., 64 Avenue N.E. or with respect to a proposed building that abuts Prairie Winds Park, a freeway or an expressway, the Permitted Uses described above shall be discretionary uses in addition to the following:

- Amusement arcades
- Billiard parlours
- Bottle return depots
- Child care facilities
- Churches
- Commercial schools
- Custodial quarters
- Drinking establishments
- Entertainment establishments
- Farmer's markets and flea markets
- Financial institutions
- Hotels and motels
- Intensive agricultural uses
- Kennels
- Liquor stores
- Private clubs and organizations
- Private schools
- Public and quasi-public buildings
- Restaurants

Signs (except for freestanding identification)  
Warehouse stores\*

\*(for the purposes of this By-law **Warehouse store** means the use of a building for the retail sale of a limited range of bulky goods the size and nature of which typically require large floor areas for direct display to the purchaser, and include, but are not limited to, such bulky goods as furniture, floor coverings, major appliances, paints and wall coverings, light fixtures, but does not include the sale of food, clothing, or other personal goods, wares, substances, articles or things.)

2) Development Guidelines

The General Rules for Industrial Districts contained in Section 43 of By-law 2P80 and the Permitted and Discretionary Use Rules of the I-2 District shall apply unless otherwise noted below:

Sites 1 and 2

a) Ancillary Commercial Uses

Ancillary commercial uses may occupy up to 38 m<sup>2</sup> (409 sq.ft.±) or 10% of the net floor area of the primary use, whichever is greater, to a maximum of 280 m<sup>2</sup> (3,013 sq.ft.±). For purposes of this By-law, ancillary commercial means a directly related retail and/or display area that occupies a portion of a building the primary use of which is a permitted or discretionary industrial use.

b) Parking - Ancillary Commercial

Parking for ancillary commercial uses shall be at the same rate as the principal use.

c) Access

No direct vehicular access shall be permitted from any parcel to Castleridge Boulevard N.E.

d) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.

Site 1 Only

a) Yards

Directly abutting Castleridge Boulevard, 64 Avenue or Prairie Winds Park a minimum depth of 7.5 metres or a depth equal to half the height of the principal building, whichever is greater;

b) Landscaping

All yards abutting Castleridge Boulevard shall be uniformly bermed and landscaped to the satisfaction of the Approving Authority.

c) Architectural Controls

Prior to approval of the first tentative plan for Site 1, the developer shall submit a development permit application for the architectural guidelines covering such matters as comprehensive design, exterior finishes, facade, roof lines and roof top mechanical, landscaping, and parking.

d) Fencing

Screening fencing shall be provided on any parking lots visible from Castleridge Boulevard or 64 Avenue N.E.

ii) Site 3 4.3 ha.± (10.63 ac.±)

1) Land Use

The land use shall be for an L.R.T. Park and Ride site and ancillary facilities only.

2) Development Guidelines

The General Rules for Special Districts contained in Section 48 of By-law 2P80 and the Permitted and Discretionary Use Rules of the PS Public Service District shall apply.

3) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.