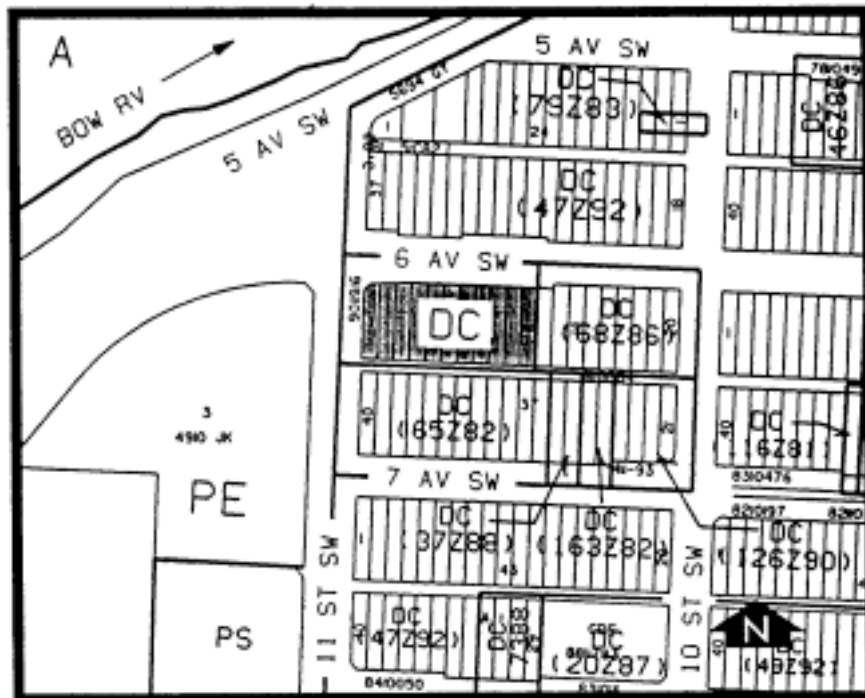


**Amendment No. 93/029**  
**Bylaw No. 22Z94**  
**Council Approval: 14 March 1994**

**SCHEDULE B**



1. Land Use

The permitted and discretionary uses continued in Section 32: RM-7 Residential High Density Multi-Dwelling District shall be permitted and discretionary uses respectively with the additional discretionary use of temporary surface parking.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of By-law 2P80 and the Permitted and Discretionary Use Rules of the RM-7 Residential High Density Multi-Dwelling District shall apply unless otherwise noted below:

a) Height

Maximum building height shall be 27 and 17 storeys not exceeding 81.69 metres and 56.39 metres for the eastern and western towers respectively.

b) Building Materials

Building materials shall be of high quality, including brick and precast concrete.

c) F.A.R.

Maximum floor area ratio shall be in the order of 10.1 F.A.R. with a maximum of 348 units. Any floor area totally or partially above grade level shall be included in the F.A.R. calculations.

d) Landscaping

Landscaping shall cover a minimum of 20% of the net site area plus any adjoining boulevards. A detailed landscaping plan, including existing vegetation, shall be submitted to the Approving Authority for approval as part of a development permit application.

e) Amenity Areas

- i) Communal - A minimum of 40 percent of the gross site area shall be provided as common amenity space for all residents, through a combination of indoor and outdoor spaces.
- ii) Private - The minimum private amenity area per unit shall be 5.6 square metres with a minimum dimension of 1.8 metres.

f) Parking

A minimum of 348 underground tenant parking stalls and 26 visitor parking stalls shall be provided on site.

g) Access

Access and egress shall be determined at the time of application for a development permit to the satisfaction of the Approving Authority.

h) Horizontal Separation Spaces from Living and Bedroom Windows to Rear & Side Property Lines

- i) East - A minimum of 4.88 m.
- West - No minimum requirement.
- ii) South - An average of 8.80 m with no living or bedroom window located within 4.88 m of the property line.

i) At Grade Pedestrian Circulation Space

A minimum of 2.2 m or 3.5 m if arcaded.

j) Residential Units

No residential unit, other than that of a superintendent's or caretaker's apartment, shall be located below a commercial use.

k) By-lawed Setback

- i) No building or structure, with the possible exception of the underground parking levels, shall be permitted within the 2.134 by-lawed setback on 6 Avenue S.W. The owner will be requested to dedicate the setback at the time of application for a development permit.
- ii) Any additional utility relocation costs resulting from the possible underground encroachment into the future 2.134 setback on 6 Avenue S.W. will be born by the applicant.

l) Temporary Surface Parking

- i) Shall comply with the requirements of Section 18 (1.1) Special Rules for Downtown Parking.
- ii) Any additional utility relocation costs resulting from the possible underground encroachment into the future 2.134 setback on 6 Avenue S.W. will be born by the applicant.

m) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans, including building design, site layout, exterior finishes and colour, landscaping, parking and accesses shall subsequently be submitted to the Approving Authorities as part of a development permit application. In considering such an application, the Approving Authorities shall ensure the building appearance, site layout and density conform substantially to the plans and renderings submitted to City Council during their consideration of By-law 92Z90.