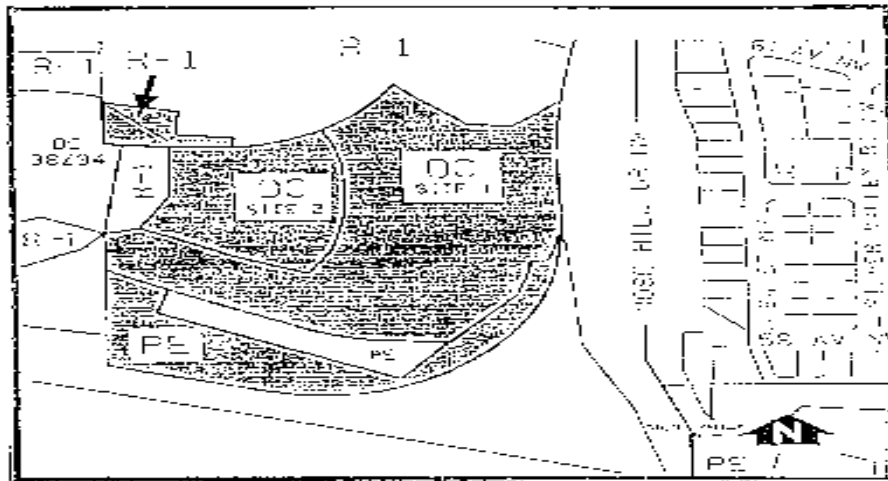


Amendment No. 94/052
Bylaw No. 30Z95
Council Approval: 15 May 1995

SCHEDULE B



4.2 ha+/- (10.5 ac +/-)

Site 1

1. Land Use

The land use shall be for a comprehensively designed residential development comprised of single-detached dwellings or semi-detached dwellings, or both.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-dwelling District shall apply unless otherwise noted below.

a. Residential Density

i) A maximum of 88 dwelling units shall be allowed on the site provided that up to a maximum of five (5) additional dwelling units may be transferred to the site from Site 2, by way of a density transfer, if:

A) Site 2 has already been developed with less than 28 units and the amount of density surplus existing with respect to Site 2 is equal to or greater than the proposed density transfer; and

- B) A density transfer agreement in a form satisfactory to the City Solicitor has been registered on the title to Site 2.
 - ii) Notwithstanding anything elsewhere contained herein, the total number of dwelling units on Site 1 and Site 2 shall not exceed 116 units.
- b. Street Lighting
- Street lighting shall be low-level.
- c. Architectural Design
- i) Variety
 - ii) Theme
- Mirror image front elevations shall not be allowed.
- Exterior finishing materials shall follow a consistent architectural theme throughout the development.
- iii) Roof Materials
- Roofing materials shall be wooden shakes or clay or concrete tiles.
- iv) Wall Materials
- The exterior wall materials shall be brick, stone, cedar, hardboard siding or stucco.
- v) Flankage Dwellings
- The side elevation of a dwelling flanking a public roadway shall be consistent with its front elevation in terms of architectural detailing and shall provide visual interest through the inclusion of windows entries, trim, dormers and shutters.
- d. Site Access
- Access or egress to or from Nose Hill Drive N.W. shall not be allowed.
- e. Dwelling Height
- i) The maximum building height for dwellings interfacing with the south property line of the site along the escarpment shall be:
 - A) one storey in the front; and
 - B) two storeys in the rear.
 - ii) Excluding dwellings along the escarpment:
 - A) twenty (20) percent of the dwellings on the balance of the site may be two storeys; and

- B) eighty (80) percent of the dwellings on the balance of the site shall be one storey.

f. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.

Site 2

1. Land Use

The land use shall be for comprehensively designed residential development comprised of single-detached dwellings or single-detached dwellings and semi-detached dwellings.

2. Development Guidelines

The General Rules of Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-1 Residential Low Density Multi-dwelling District shall apply unless otherwise noted below.

a. Residential Density

- i) A maximum of 28 dwelling units shall be allowed on the site provided that up to a maximum of five (5) additional dwelling units may be transferred to the site from Site 1, by way of a density transfer, if:
 - A) Site 1 has already been developed with less than 88 units and the amount of density surplus existing with respect to Site 1 is equal to or greater than the proposed density transfer; and
 - B) A density transfer agreement in a form satisfactory to the City Solicitor has been registered on the title to Site 1.
- ii) Notwithstanding anything elsewhere contained herein, the total number of dwelling units on Site 1 and Site 2 shall not exceed 116 units.

b. Street Lighting

Street lighting shall be low-level.

c. Architectural Design

i) Variety

Mirror image front elevations shall not be allowed.

ii) Theme

Building design and exterior finishing materials shall follow a consistent architectural theme throughout the development.

iii) Roof Materials

The roofing materials shall be wooden shakes or clay or concrete tiles.

iv) Wall Materials

The exterior wall materials shall be brick, stone, cedar, hardboard siding or stucco.

v) Flankage Dwellings

The side elevation of a dwelling flanking a public roadway shall be consistent with its front elevation in terms of architectural detailing and shall provide visual interest through the inclusion of windows, entries, trim, dormers and shutters.

d. Single-Detached Dwellings Along West Side of Site

i) A maximum of six (6) single detached dwellings shall be required to back onto the west property line of the site at the direct interface with the adjacent R-1 Residential Single-Detached District.

ii) The minimum rear yard setback for these single-detached dwellings shall be 7.5 metres.

iii) No single-detached dwelling shall be situated closer than 3.0 metres from any other dwelling or the nearest boundary of a private internal road.

e. Building Height

i) Twenty (20) percent of the dwellings on the site may be two storeys in height.

ii) Eighty (80) percent of the dwellings on the site shall be one storey height.

f. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.