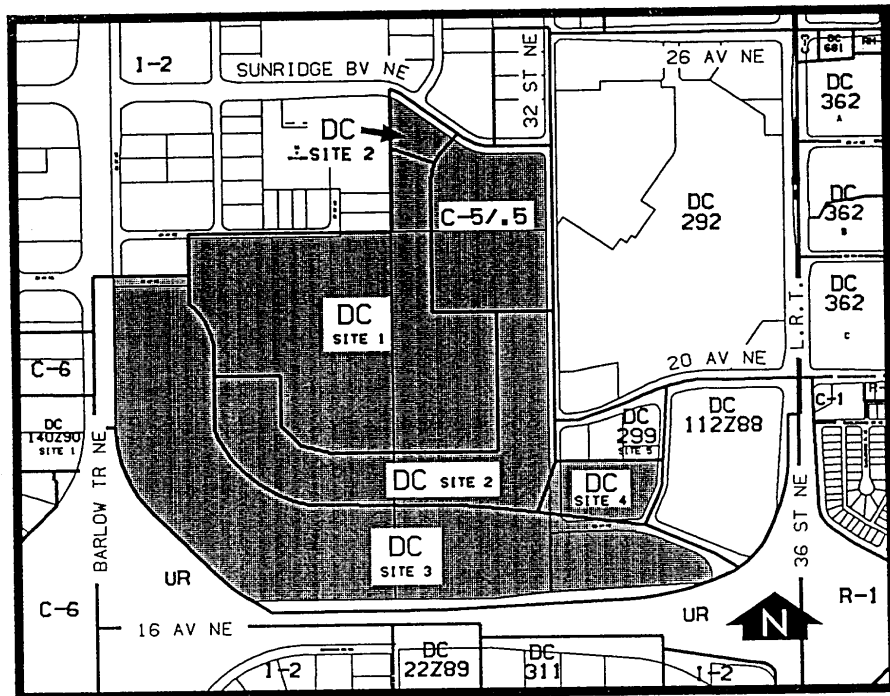


**Amendment No. 94/097**  
**Bylaw No. 47Z95**  
**Council Approval: 28 June 1995**

**SCHEDULE B**



(A) Site 1 - 31.5 hectares +/-

(1) Land Use

The Permitted and Discretionary Uses of the I-2 General Light Industrial District shall be the permitted and discretionary uses respectively, with the following uses deleted:

- Automotive sales and rentals
- Grocery stores
- Amusement arcades
- Drinking establishments
- Entertainment establishments
- Financial institutions
- Flea markets
- Gaming establishments - bingo
- Hotels and motels

Liquor stores  
Warehouse stores

(2) Development Guidelines

The General Rules for Industrial Districts contained in Section 43 of By-law 2P80 and the Permitted and Discretionary Use Rules I-2 General Light Industrial District shall apply unless otherwise noted below.

(a) Access and Egress

No direct vehicular access will be permitted to or from the section of 23 Avenue from Barlow Trail N.E. eastbound to the next intersection to any adjacent lots except for an all turns at the southerly intersection of 23 Avenue unless justified to the satisfaction of the Director of Transportation.

(b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall subsequently be submitted to the Approving Authority as part of a development permit application.

(B) Site 2 - 12.9 hectares +/-

(1) Land Use

The Permitted and Discretionary Uses of the I-2 General Light Industrial District shall be the permitted and discretionary uses respectively, with the additional discretionary uses of retail stores and medical clinics, and the deletion of flea markets, gaming establishments - bingo, and intensive agricultural uses.

(2) Development Guidelines

The General Rules for Industrial Districts contained in Section 43 of By-law 2P80 and the Permitted and Discretionary Use Rules of the I-2 General Light Industrial District shall apply unless otherwise noted below.

(a) Net Floor Area - Restaurants

The maximum net floor area of 186 square metres for restaurants does not apply on this site.

(b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall subsequently be submitted to the Approving Authority as part of a development permit application.

(C) Site 3 - 28.7 hectares +/-

(1) Land Use

The Permitted Uses of the I-2 General Light Industrial District shall be the permitted uses with the use warehouses added, and the following uses deleted:

Auto body and paint shops  
Greenhouses and nurseries,  
Movement or storage of material, goods or products  
Veterinary clinics  
Veterinary hospitals

The Discretionary Uses shall be the discretionary uses of the I-2 General Light Industrial District with the uses retail stores and medical clinics added, and amusement arcades, bottle return depots, flea markets, gaming establishments - bingo, intensive agricultural uses and kennels deleted.

Certainty of Use (C.U.) is afforded to the following:

Drinking establishments  
Entertainment establishments  
Financial institutions  
Hotels and motels  
Medical clinics  
Restaurants  
Retail stores  
Warehouse stores

(2) Development Guidelines

The General Rules for Industrial Districts contained in Section 43 of By-law 2P80 and the Permitted and Discretionary Use Rules of the I-2 General Light Industrial District shall apply unless otherwise noted below.

(a) Net Floor Area - Restaurants

The maximum net floor area of 186 square metres for restaurants does not apply on this site.

(b) Access and Egress

(i) No direct vehicular access is permitted to/from either 16 Avenue, 36 Street, Barlow Trail or any associated interchanges and ramps.

(ii) No direct vehicular access will be permitted to/from 18 Avenue east of 34 Street N.E. to any adjacent lots.

(iii) No direct vehicular access will be permitted to or from the section of 23 Avenue from Barlow Trail N.E. eastbound to the next intersection to any adjacent lots except for an all turns at the southerly intersection of 23 Avenue unless justified to the satisfaction of the Director of Transportation.

(c) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall subsequently be submitted to the Approving Authority as part of a development permit application.

(D) Site 4 - 2.7 Hectares +/-

(1) Land Use

The permitted and discretionary uses of the C-2(12) general commercial district shall be the permitted and discretionary uses respectively.

(2) Development Guidelines

The general rules for commercial districts contained in section 33 of by-law 2p80 and the permitted and discretionary use rules of the c-2(12) general commercial district shall apply unless otherwise noted below.

(a) Gross Floor Area

A maximum of 0.5 Times the site area.

(b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall subsequently be submitted to the approving authority as part of a development permit application.