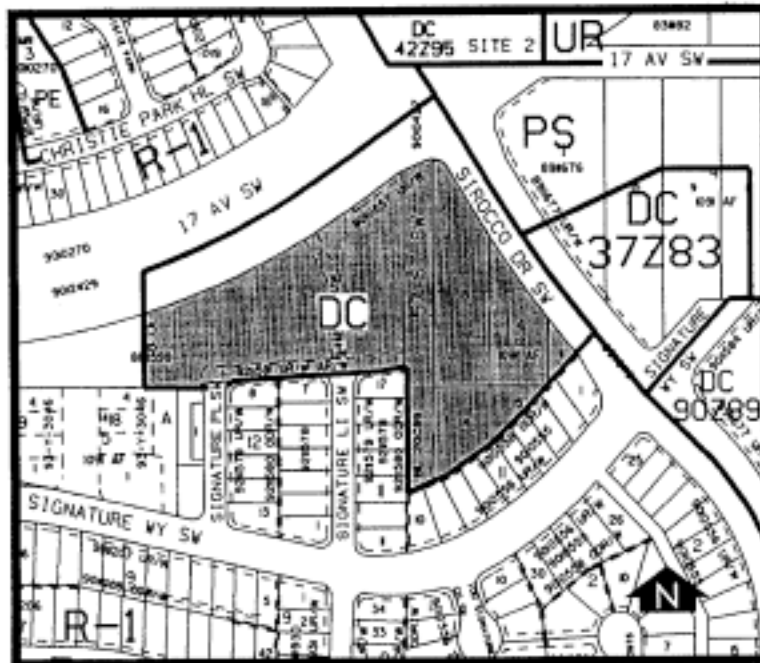


Amendment No. 95/101
Bylaw No. 18Z96
Council Approval: 30 May 1996

SCHEDULE B



1. Land Use

The land use shall be for a comprehensively designed special care facility comprised of a building containing assisted living units and communal dining, recreational and social facilities and providing personal, medical and elderly daycare services and a limited number of self-contained townhouse units to serve and meet the special care and living needs of the elderly clientele only.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-dwelling District shall apply unless otherwise noted below:

a. Density

Not more than 114 assisted-living apartment dwellings, and not more than 30 townhouse units shall be allowed on the site.

b. Communal Facilities

All communal facilities for dining, recreation, personal and medical service, etc., shall be contained within the apartment building.

c. Building Height

The maximum building height for the apartment building shall be three storeys and the maximum elevation of the highest roof peak shall not exceed 1181.9 metre geodetic by more than 150 millimetres and the maximum elevation of the eaves shall not exceed 1178.0 metres geodetic elevation. The townhouse units will be single-storey only.

The maximum building height of the bungalow townhouses shall be one storey.

d. Building Finishes

The exterior building finishes shall be stucco with architectural detailing and concrete tile roof.

e. Parking

A minimum of 62 parking stalls shall be provided for the apartment building tenants and their visitors.

All townhouse units shall be provided with double garages and double width driveways.

(i) Right turns in only access will be provided off Sirocco Drive S.W.

f. Landscaping

Not less than 48% of the net site area shall be landscaped. The net site area is defined here as the total site area without the public park area.

A detailed, professionally prepared landscape plan shall be submitted as part of a development permit application. This landscape plan shall incorporate suitable pathways, seating and other recreation and landscape features to meet the needs of the elderly and mobility impaired persons. This landscape plan shall provide adequate details of site grading, berms, retaining walls and fences, including details of required attenuation fences, details of all surface treatments, curbs, site signage, landscape features and details of plant material including species description, their numbers and sizes.

g. Public Park

Approximately 0.64 acres of land shall be dedicated as municipal reserve for the purpose of a public park. The park shall be located as shown on the site plan at the southeast edge of the property with public access from Sirocco Drive and Signature Link SW. The park shall be developed, landscaped and maintained in perpetuity by the developer and his successors. The standard of development and landscaping of the park shall be compatible to the landscaping of the project. Any separation of the park area from the project shall be provided by means of shrubs, hedges and other plant material but not fences. The landscape plan shall be to the satisfaction of the Director of Parks and Recreation and the Calgary Planning Commission.

h. Development Plans

Approval of this application does not constitute an approval of a development permit. Comprehensive plans including detailed landscape plans and phasing of construction plans if any, shall be submitted to Calgary Planning Commission as part of a development permit application. In considering such an application, the Calgary Planning Commission shall ensure that the development permit plans conform substantially to the plans and renderings submitted to City Council during its consideration of the Bylaw.

i. Walk-out Basements

No walk-out basements will be permitted on the two most southerly townhouse buildings.