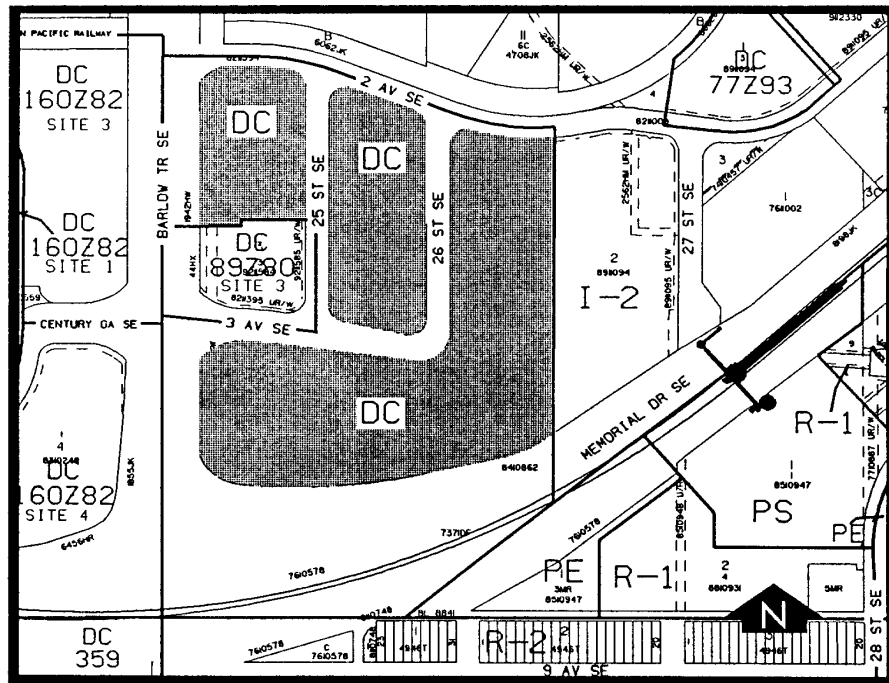


Amendment No. 96/042
Bylaw No. 74Z96
Council Approval: 22 July 1996

SCHEDULE B



1. Land Use

The permitted and discretionary uses of the C-3 General Commercial District of Bylaw 2P80 shall be the permitted and discretionary uses respectively excepting:

- Auto body and paint shops
- Automotive sales and rentals
- Automotive services
- Automotive specialties
- Funeral homes
- Private schools

and with the additional discretionary use of:

Manufacturing, fabricating, processing, assembly, disassembly, production or packaging of materials, goods or products including the movement or storage of materials, goods and products ancillary thereto.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the permitted and discretionary use rules of the C-3 General Commercial District shall apply unless otherwise noted below:

a) Retail Development

Retail stores, drinking establishments, liquor stores and personal service businesses shall be limited to the first and second storeys of multi-use buildings and shall not exceed 30 percent of the gross floor area of a building.

b) Pedestrian Access

Applications for development permits or subdivision approval shall provide details which ensure pedestrian access shall be provided and maintained throughout the site connecting to the Franklin C-Train station and the controlled intersection of 3 Avenue and Barlow Trail. A regional pathway shall be provided in a location satisfactory to the Parks and Recreation Department which provides a link between the Franklin C-Train station and the Mayland Heights Community. The pathway shall be registered and developed in a manner satisfactory to the Development Authority.

c) Landscaping

i) Individual development sites shall be landscaped in a manner consistent with the C-3 General Commercial District requirements for landscaping as though they were separate parcels of land.

ii) Additional landscaping adjacent to Barlow Trail shall be undertaken in accordance with the recommendations of the Improving Calgary's Entranceways Study with regard to CPTED standards.

d) Parking

Parking shall be provided in a manner and amount acceptable to the Development Authority.

e) Development Plans

Approval of this application does not constitute an approval of a development permit. A development permit application shall be submitted to the Development Authority.