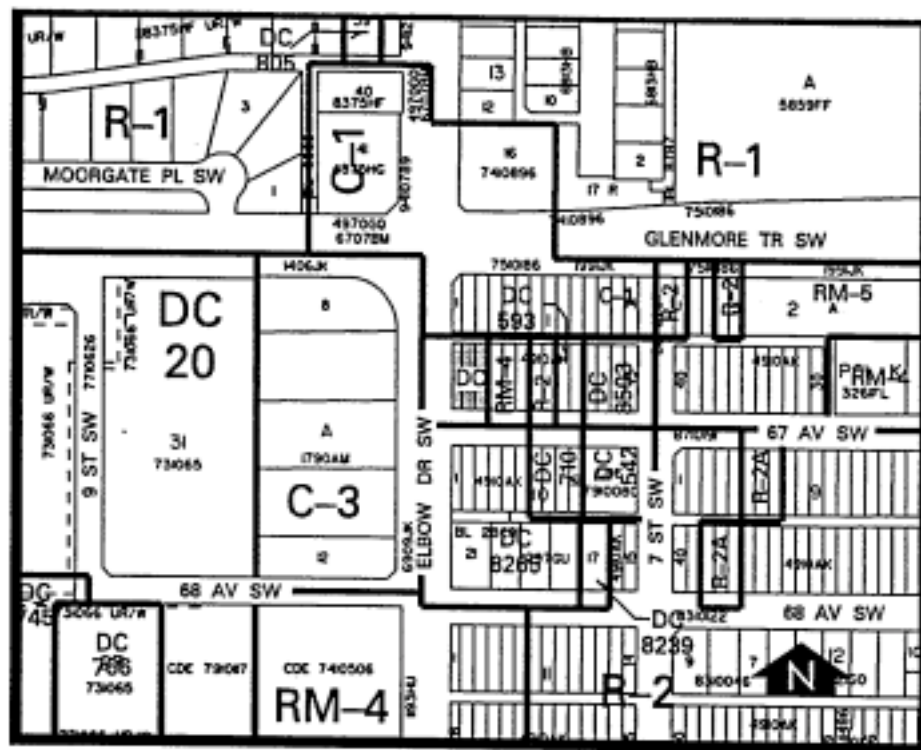


**Amendment No. 97/052**  
**Bylaw No. 101Z97**  
**Council Approval: 18 September 1997**

**SCHEDULE B**



1. Land Use

The land use shall be for the following permitted uses only:

**Main Floor** - financial institutions, grocery stores, medical clinics, offices, personal service business, retail stores and veterinary clinics; and

**Second Floor** - dwelling units and Home Occupation Class 1;

all within the building existing on the site on the date of passage of this Bylaw.

2. Development Guidelines

# Amendment No. 97/052

## Bylaw No. 101Z97

### SCHEDULE B

CONTINUED

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-1A Local Commercial District shall apply unless otherwise noted below.

a. Vehicular Access and Egress

Access and egress shall be from 67 Avenue SW and the lane to the north. No direct vehicular access or egress shall be permitted from or to Elbow Drive SW.

b. Parking

A minimum of 15 on-site parking stalls shall be provided. Parking provided for individual uses shall not be less than the minimum requirements of Bylaw 2P80.

c. Dwelling Units

The maximum number of dwelling units shall be four.

d. Landscaping

A detailed landscaping plan including an inventory of all existing trees and vegetation on site shall be submitted to the Approving Authority as part of a development permit application.

e. Garbage Storage

The garbage enclosure shall be visually screened from all public thoroughfares.

f. Signage

A signage proposal shall be submitted as part of the development permit application.

g. Development Plans

**Amendment No. 97/052  
Bylaw No. 101Z97**

**SCHEDULE B**

CONTINUED

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Approving Authority as part of a development permit application.