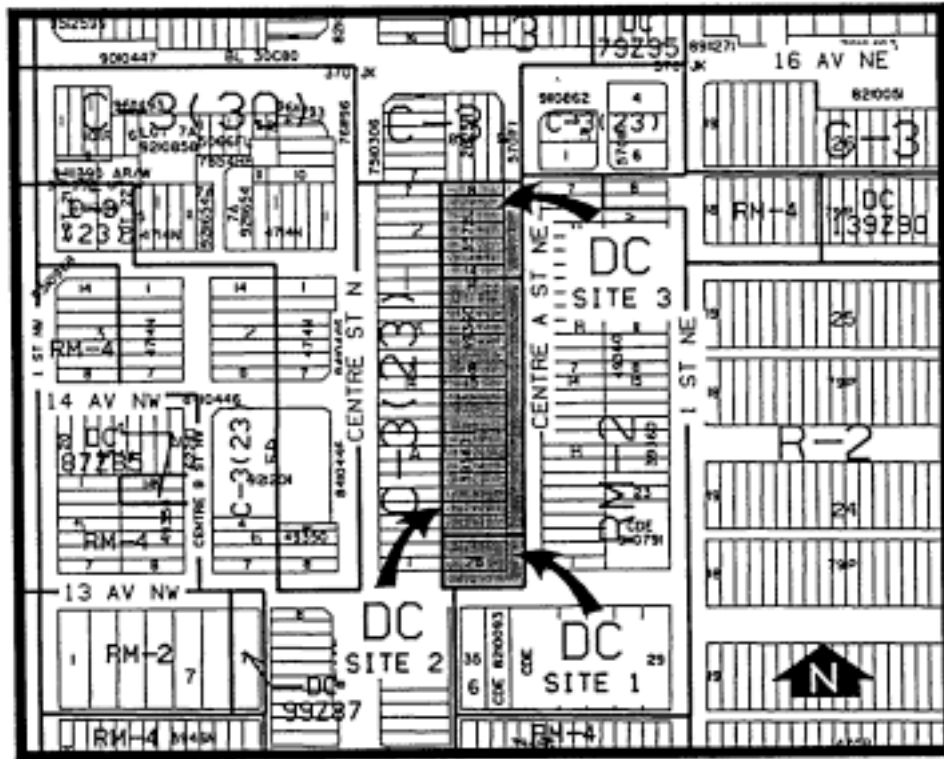


**Amendment No. 96/107**  
**Bylaw No. 18Z97**  
**Council Approval: 21 May 1997**

**SCHEDULE B**



**SITE 1**

1. Land Use

The Permitted and Discretionary Uses of the RM-4 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be the permitted and discretionary uses respectively, with the additional discretionary use of driveway access, ancillary to adjacent commercial uses.

2. Development Guidelines for Residential Developments

a) The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 District shall apply unless otherwise noted below.

3. Development Guidelines for Parking Areas and Driveways

# **Amendment No. 96/107 Bylaw No. 18Z97**

## **SCHEDULE B**

CONTINUED

- a) To ensure that parking has a minimal impact on nearby residential uses the following guidelines shall be applied to the satisfaction of the Development Authority.
  - i) The number of access and egress driveways to Centre A Street shall be minimized, and shared access shall be provided where appropriate.
  - ii) Site treatments including fencing, landscaping, and signs shall be to the satisfaction of the Development Authority.

### 4. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.

## **SITE 2**

### 1. Land Use

The Permitted and Discretionary Uses of the RM-4 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be the permitted and discretionary uses respectively, with the additional discretionary uses of parking areas.

### 2. Development Guidelines for Residential Developments

- a) The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 District shall apply unless otherwise noted below.

### 3. Development Guidelines for Parking Areas and Driveways

# **Amendment No. 96/107 Bylaw No. 18Z97**

## **SCHEDULE B**

CONTINUED

- a) To ensure that parking has a minimal impact on nearby residential uses the following guidelines shall be applied to the satisfaction of the Development Authority:
  - i) The number of access and egress driveways to Centre A Street shall be minimized, and shared access shall be provided where appropriate.
  - ii) Site treatments including fencing, landscaping, and signs shall be to the satisfaction of the Development Authority as follows:
    - A) A minimum 3 metre depth landscaped front yard including a 1.2 metre screen fence.
    - B) Where parking abuts a residential property, a maximum 2 metre landscaped side yard with a 2 metre privacy fence shall be provided to benefit the adjacent property.
    - C) Yards are not required where parking abuts a commercial use.

#### **4. Development Plans**

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.

#### **SITE 3**

##### **1. Land Use**

The Permitted and Discretionary Uses of the RM-4 Residential Medium Density Multi-Dwelling District of Bylaw 2P80 shall be the permitted and discretionary uses respectively, with the additional discretionary uses of retail stores, offices, personal service businesses, financial institutions, parking areas.

# **Amendment No. 96/107 Bylaw No. 18Z97**

## **SCHEDULE B**

CONTINUED

2. Development Guidelines for Residential Developments
  - a) The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 District shall apply unless otherwise noted below.
3. Development Guidelines for Commercial Developments and Mixed Commercial/Residential Developments
  - a) The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary use rules of the C-2(12) District shall apply unless otherwise noted below.
  - b) Side Yard

The width and landscaping treatment in the side yard shall be to the satisfaction of the Development Authority.
4. Development Guidelines for Parking Areas and Driveways
  - a) To ensure that parking has a minimal impact on nearby residential uses the following guidelines shall be applied to the satisfaction of the Development Authority.
    - i) The number of access and egress driveways to Centre A Street shall be minimized, and shared access shall be provided where appropriate.
    - ii) Site treatments including fencing, landscaping and signs shall be to the satisfaction of the Development Authority as follows:
      - A) A minimum 3 metre depth landscaped front yard including a 1.2 metre screen fence.

# **Amendment No. 96/107 Bylaw No. 18Z97**

## **SCHEDULE B**

CONTINUED

- B) Where parking abuts a residential property, a maximum 2 metre landscaped side yard with a 2 metre privacy fence shall be provided to benefit the adjacent property.
- C) Yards are not required where parking abuts a commercial use.

5. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.