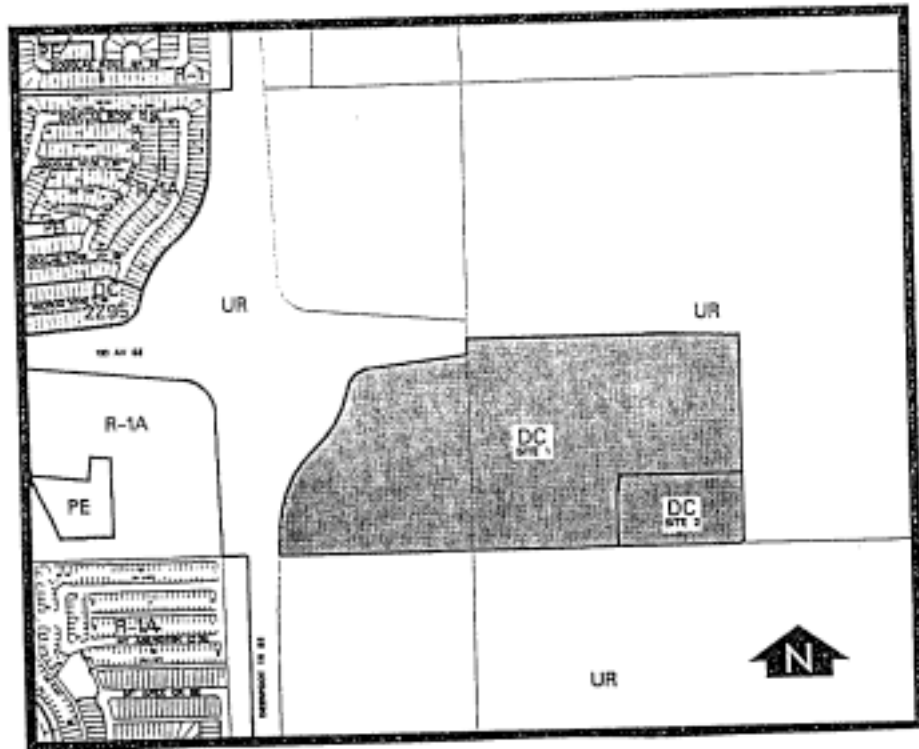


Amendment No. 97/015
Bylaw No. 73Z97
Council Approval: 21 July 1997

SCHEDULE B



SITE 1 23.56 ha± (58.22 ac±)

1. Land Use

The Permitted and Discretionary Uses of the C-5 Shopping Centre Commercial District shall be the permitted and discretionary uses respectively.

2. Development Guidelines

The General Rules for Commercial Districts contained in Section 33 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-5 Shopping Centre Commercial District shall apply unless otherwise noted below.

a. Gross Floor Area

- i. A maximum of 0.4 times the site area.

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- ii. The total gross floor area of the hotel, office, residential or other non-retail portion shall not exceed the total gross floor area of the retail and shopping portion of the shopping centre.
- b. Net Floor Area
 - A maximum of 70,000 square metres.
- c. Concept Plan
 - i. Prior to approval of an initial plan of subdivision or development permit on the site, a concept plan for the site shall be submitted to the satisfaction of the Approving Authority showing internal circulation routes, access and egress points, parking areas, building locations, floor area projections and such other information considered necessary to ensure that the site develops in a logical and comprehensively-planned manner.
 - ii. The concept plan may be required to be revised with each successive submission of a plan of subdivision or development permit to the satisfaction of the Approving Authority.
- d. Building Height
 - i. For buildings within 18 metres of a residential district or municipal reserve land, a maximum of four stories not exceeding 12 metres at any eaveline measured from grade at all points adjacent to the building.
 - ii. In all other cases, Section 39(5)(b) of the C-5 Shopping Centre Commercial District shall apply.

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- e. Screening
 - i. On the south side adjacent to municipal reserve land, visual screening shall be provided to a minimum height of 1.8 metres by a combination of a berm and soft landscaping or a continuous row of coniferous trees.
 - ii. On the south and east side adjacent to Site 2, visual screening shall be provided to a minimum height of 1.8 metres by continuous row of coniferous trees.
 - iii. All mechanical equipment on a roof shall be screened from public view.
- f. Use Restrictions
 - i. Section 33(18), Use Restrictions, of the General Rules - Commercial Districts shall apply.
 - ii. Any land use shall comply with the setback distances from a sanitary landfill required in the Subdivision and Development Regulation.
- g. Parking Access and Loading as follows:

Neither drive aisles or parking shall be permitted adjacent to the south boundary of the site in order to remove potential disturbances to the adjacent residential uses unless security control is installed and trucks can be fully screened to the satisfaction of the Development Authority.
- h. Development Plans

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Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the satisfaction of the Development Authority as part of a development permit application.

SITE 2 2.42 ha± (6.0 ac±)

1. Land Use

The Permitted and Discretionary Uses of the RM-5 Residential Medium Density Multi-Dwelling District shall be the Permitted and Discretionary Uses respectively excluding single-detached dwellings and semi-detached dwellings.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-5 Residential Medium Density Multi-Dwelling District shall apply unless otherwise noted below:

a. Building Height

- i. For buildings adjacent to the south boundary of the site, a maximum of three stories not exceeding 9 metres at any eaveline.
- ii. For any other buildings, a maximum of four stories not exceeding 12 metres at any eaveline.
- iii. For the purpose of this district, height shall be measured from grade at all points adjacent to a building and from an approved landscaped deck where such a deck is adjacent to the rear wall of a building.

b. Density

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A maximum of 125 units per hectare.

- c. Yards
 - i. Where the site abuts a commercial district, a minimum of 7.5 metres.
 - ii. In all other cases, Section 30(3)(a) to (c), Yards, of the RM-5 Residential Medium Density Multi-Dwelling District shall apply.
 - iii. Excepting the access to the site from 50th Street, neither drive aisles or parking shall be permitted adjacent to the south boundary of the site in order to remove potential disturbance to the adjacent residential uses.
- d. Landscaped Area
 - i. Section 29(3)(f)(i) and (ii), Landscaped Area, of the RM-5 Residential Medium Density Multi-Dwelling District shall apply.
 - ii. The landscaped area shall include a centrally-located amenity space.
- e. Fencing
 - i. Section 20(6), Fences, of the General Rules - Residential Districts shall apply.
 - ii. On the north and west side, a 1.8 metre high screening fence.
 - iii. On the east side, a sound attenuation fence or a 1.8 metre high screening fence.

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iv. On the south side, a fence to the satisfaction of the Development Authority

f. Design

The design, character and appearance of all residential buildings shall be compatible with and complementary to the adjacent residential area.

7. Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the satisfaction of the Development Authority as part of a development permit application.