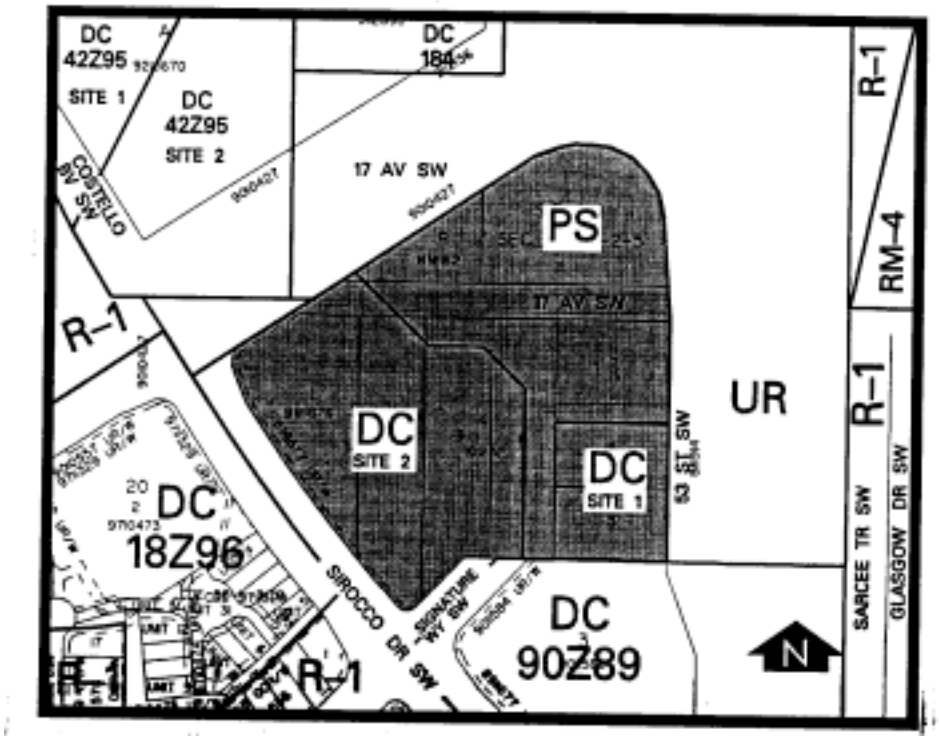
Amendment No. 97/043
Bylaw No. 80Z97
Council Approval: 06 October 1997
SCHEDULE B



PS Public Service District, 2.06 ha± (5.1 ac±); and

DC Direct Control District, 2.57 ha± (6.35 ac±)

Site 1 (0.52 ha±)

1) Land Use

The Permitted and Discretionary Uses of the RM-4 Residential Medium Density Multi-dwelling District shall be the Permitted and Discretionary Uses respectively.

2) Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the RM-4 Residential Medium Density Multi-dwelling District shall apply unless otherwise noted below:

1) Density

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A maximum of 43 units per hectare (17 units per acre).

2) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.

Site 2 (1.98 ha±)

1) Land Use

The Permitted and Discretionary Uses of the C-5 Shopping Centre Commercial District shall be the Permitted and Discretionary Uses respectively.

2) Development Guidelines

The General Rules for Residential Districts contained in Section 39 of Bylaw 2P80 and the Permitted and Discretionary Use Rules of the C-5 Shopping Centre Commercial District shall apply unless otherwise noted below:

1) Shopping Centre Site Area

A minimum of 1.98 ha± (4.9 ac±).

2) Shopping Centre Floor Area

i) A maximum of 5,575 square metres total net floor area uses;
ii) A maximum of 3,700 square metres gross floor area for any single use.

3) Building Height

1) A maximum of 10 metres for the retail and shopping portion of the shopping centre; except
2) A maximum of 14 metres for feature elements such as entry and tower architectural features.

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4) Landscaped Area

All minimum required front and side yards and pedestrian linkages within the site and to LRT parking areas shall be landscaped. The ratio of coniferous to deciduous trees shall be 1:1.

5) Architectural Design

1) The exterior design and finish of the shopping centre shall be substantially similar to the adjacent Signal Hill Shoping Centre;
2) Site layout and massing should allow views and pedestrian access from the southwest to northeast through the development;
3) All loading and receiving areas shall be screened from residential development to the satisfaction of the Development Authority.

6) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans shall be submitted to the Development Authority as part of a development permit application.