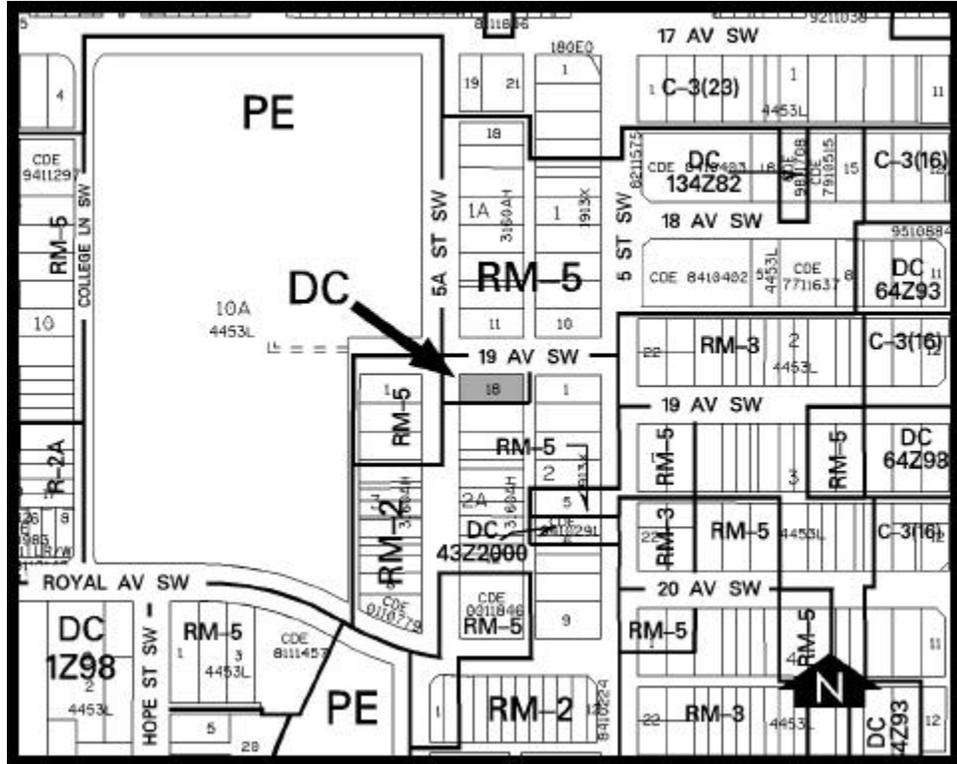


**Amendment # LOC2001-0003
Bylaw # 45Z2002
Council Approval: May 27 2002**

SCHEDULE B



DC Direct Control District

1. Land Use

The Permitted and Discretionary Uses of the RM-2 Residential Low Density District of Bylaw 2P80 shall be the Permitted and Discretionary Uses respectively with the additional discretionary uses of offices and non-medical consulting and counseling within the building existing on site on the date of passage of this bylaw.

For the purposes of this bylaw:

Offices means the use of a building or portion thereof where general business services are provided to the public and may, without restricting the generality of the foregoing, include business administrative services, a clinical practice providing psychotherapy consulting and counseling, financial accounting, engineering, or law, but does not include a medical clinic, medical procedures, dental clinic, physiotherapy clinic, personal service business or retail sales of any kind.

2. Development Guidelines

The General Rules for Residential Districts contained in Section 20 of Bylaw 2P80 and the Permitted and Discretionary Rules of the RM-2 Residential Low Density District shall apply unless otherwise noted below.

a) Regulations for Offices

- i) 6 tandem parking stalls shall be provided in the rear yard with lane access.
- ii) The maximum number of clients/customers to the site shall be 15 per day.
- iii) The maximum gross floor area shall be 276 square metres within the existing building including the main floor and basement levels.
- iv) Signs shall include:
 - the existing “Argyle House” sign located in the front yard
 - the existing sign located on the side entrance door
 - one additional sign located on the front yard to be a maximum of 0.23 square metres
- v) The existing landscaping including trees, shrubs and grassed areas shall be retained.

b) Development Plans

Approval of this application does not constitute approval of a development permit. Comprehensive plans including floor plans, elevations, site plans, signage, landscaping and parking shall be submitted to the Development Authority as part of a development permit application. The Development Authority shall ensure that the site plans conform substantially to the plans submitted to Council during their consideration of this bylaw.