

BYLAW NUMBER 18D2024

**BEING A BYLAW OF THE CITY OF CALGARY
TO AMEND THE LAND USE BYLAW 1P2007
(LAND USE AMENDMENT
LOC2023-0071/CPC2023-1131)**

WHEREAS it is desirable to amend the Land Use Bylaw Number 1P2007 to change the land use designation of certain lands within the City of Calgary;

AND WHEREAS Council has held a public hearing as required by Section 692 of the Municipal Government Act, R.S.A. 2000, c.M-26 as amended;

NOW, THEREFORE, THE COUNCIL OF THE CITY OF CALGARY ENACTS AS FOLLOWS:

1. The Land Use Bylaw, being Bylaw 1P2007 of the City of Calgary, is hereby amended by deleting that portion of the Land Use District Map shown as shaded on Schedule "A" to this Bylaw and replacing it with that portion of the Land Use District Map shown as shaded on Schedule "B" to this Bylaw, including any land use designation, or specific land uses and development guidelines contained in the said Schedule "B".
2. This Bylaw comes into force on the date it is passed.

READ A FIRST TIME ON JANUARY 16, 2024

READ A SECOND TIME ON JANUARY 16, 2024

READ A THIRD TIME ON JANUARY 16, 2024



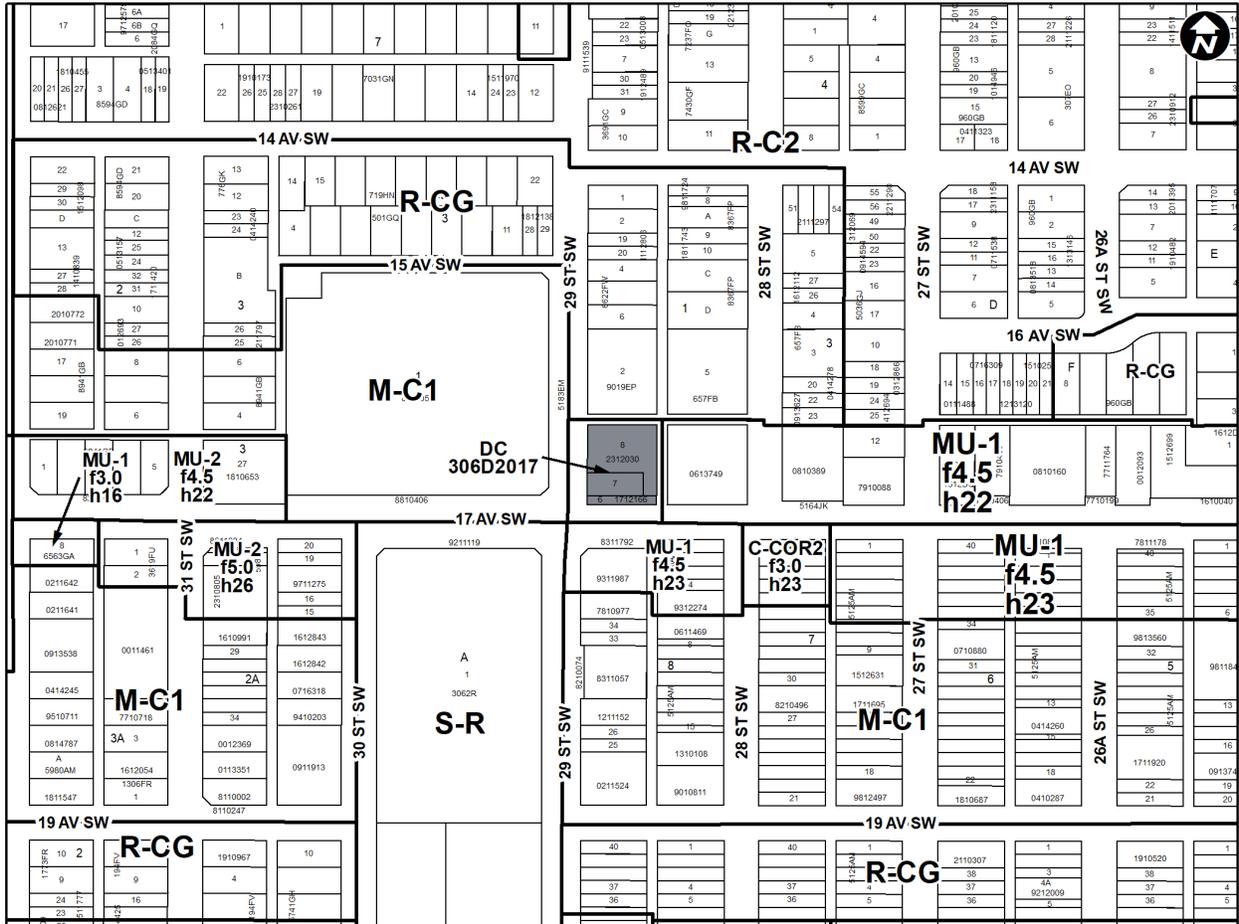
MAYOR
SIGNED ON JANUARY 16, 2024

for 

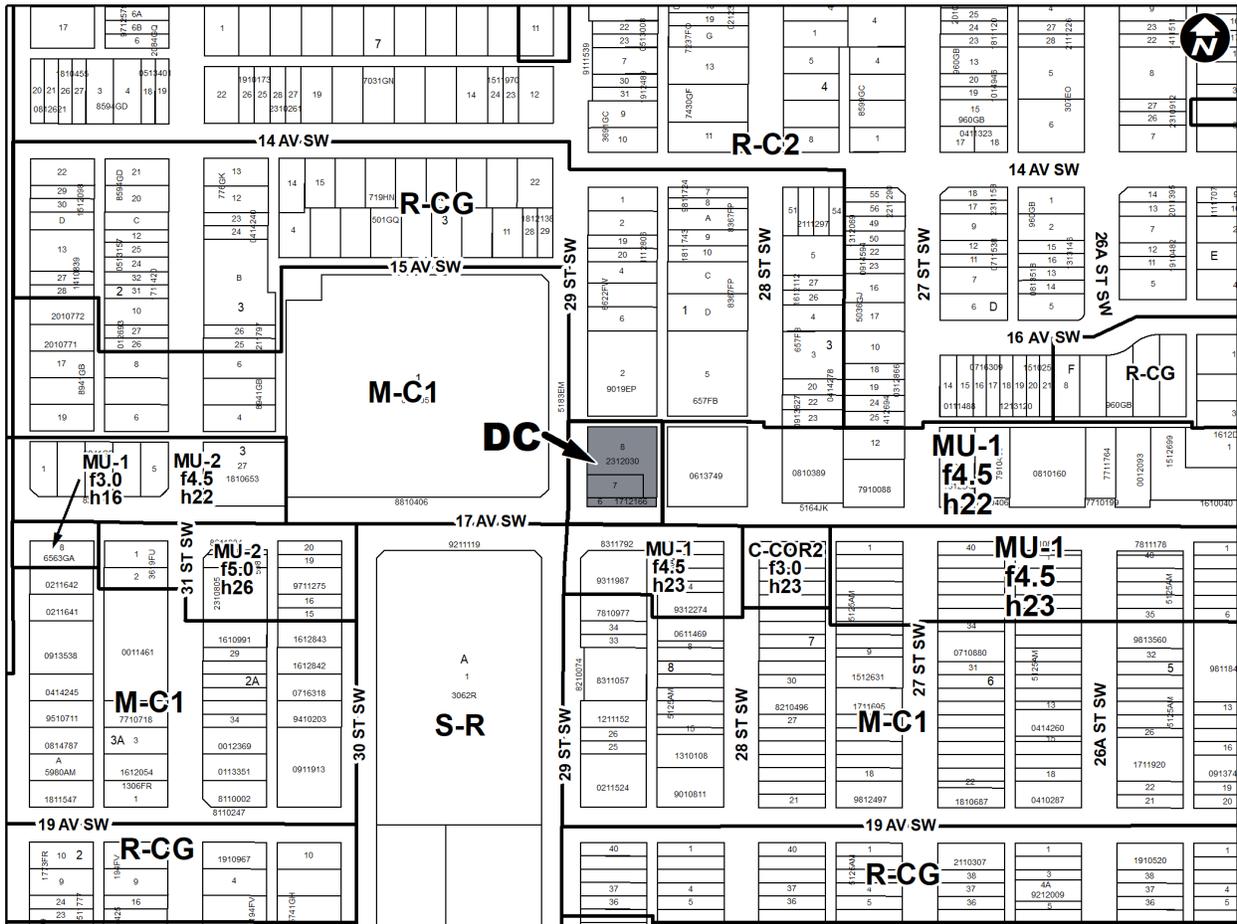
CITY CLERK
SIGNED ON JANUARY 16, 2024

AMENDMENT LOC2023-0071/CPC2023-1131
BYLAW NUMBER 18D2024

SCHEDULE A



SCHEDULE B



DIRECT CONTROL DISTRICT

Purpose

1 This Direct Control District Bylaw is intended to:

- (a) provide for pedestrian-oriented, mid-rise, mixed-use development;
- (b) allow for specific commercial uses on the ground floor of a building, with residential uses on the upper floors;
- (c) create a built form where building height transitions from 17 Avenue SW to the low-density residential development; and
- (d) allow for the additional use of a small format digital sign.

Compliance with Bylaw 1P2007

2 Unless otherwise specified, the rules and provisions of Parts 1, 2, 3 and 4 of Bylaw 1P2007 apply to this Direct Control District Bylaw.

Reference to Bylaw 1P2007

3 Within this Direct Control District Bylaw, a reference to a section of Bylaw 1P2007 is deemed to be a reference to the section as amended from time to time.

General Definitions

4 In this Direct Control District:

- (a) “**commercial use**” means any **use** listed in Sections 6 and 7 of this Direct Control District Bylaw, other than **Addiction Treatment, Assisted Living, Custodial Care, Dwelling Unit, Live Work Unit or Residential Care**.

Defined Uses

5 In this Direct Control District:

- (a) “**Small Format Digital Sign**” means a **use** that:
 - (i) displays **copy** by means of a **digital display**, but does not contain **copy** that is full motion video or otherwise gives the appearance of full animation or movement;
 - (ii) is attached to a **building**;
 - (iii) has a maximum **digital display** area of 5.0 square metres; and
 - (iv) may display **copy** directing attention to a business, commodity, service, event, activity, or entertainment that is conducted, sold, or offered both on the **site** where the sign is located and elsewhere than on the **site** where the **sign** is located.

Permitted Uses

6 The **permitted uses** of the Commercial – Corridor 1 (C-COR1) District of Bylaw 1P2007 are the **permitted uses** in this Direct Control District.

Discretionary Uses

7 The **discretionary uses** of the Commercial – Corridor 1 (C-COR1) District of Bylaw 1P2007 are the **discretionary uses** in this Direct Control District with the addition of:

- (a) **Small Format Digital Sign**.

Bylaw 1P2007 District Rules

8 Unless otherwise specified, the rules of the Commercial – Corridor 1 (C-COR1) District of Bylaw 1P2007 apply in this Direct Control District.

Floor Area Ratio

9 The maximum **floor area ratio** is 4.5.

Building Height

- 10 (1) Unless otherwise referenced in subsections (2) and (3), the maximum **building height** is 30.0 metres.
- (2) Where a **parcel** shares a **rear property line** with a **lane**, the maximum **building height** referenced in subsection (1) is reduced to 13.5 metres within 8.0 metres of that shared **property line**.
- (3) Where a **parcel** shares a **property line** with 17 Avenue SW, the maximum **building height** referenced in subsection (1) is reduced to 8.0 metres within 6.5 metres of that shared **property line**.

Building Orientation

- 11 (1) The main **public entrance** to a **building** must face a **property line** shared with a **street**.
- (2) **Motor vehicle parking stalls** and **loading stalls** must not be located between a **building** and a **street**.

Building Façade

- 12 The length of the **building** façade that faces 17 Avenue SW must be a minimum of 50.0 per cent of the length of the **property line** it faces.

Location of Uses within Buildings

- 13 (1) The following **uses** must not be located on the ground floor of **buildings**:
- (a) **Assisted Living**;
 - (b) **Catering Service – Minor**;
 - (c) **Child Care Service**;
 - (d) **Dwelling Unit**;
 - (e) **Instructional Facility**;
 - (f) **Live Work Unit**;
 - (g) **Place of Worship – Small**;
 - (h) **Post-secondary Learning Institution**;
 - (i) **Residential Care**;
 - (j) **Social Organization**; and
 - (k) **Veterinary Clinic**.
- (2) **Health Care Service** and **Office uses** located on the ground floor of a **building** must not have **frontage** on 17 Avenue SW.
- (3) A minimum of 6.0 per cent of the **gross floor area** of the **building** must contain **commercial uses**.
- (4) **Commercial uses** and **Live Work Units**:
- (a) may be located on the same floor as **Addiction Treatment, Assisted Living, Custodial Care, Dwelling Units** or **Residential Care**; and

- (b) must not share an internal hallway with **Addiction Treatment, Assisted Living, Custodial Care, Dwelling Units** or **Residential Care**.

Front Setback Area

14 There is no requirement for a **front setback area**.

Rear Setback Area

15 The **rear setback area** must have a minimum depth of 0.5 metres.

Side Setback Area

16 There is no requirement for a **side setback area**.

Rules for Small Format Digital Sign

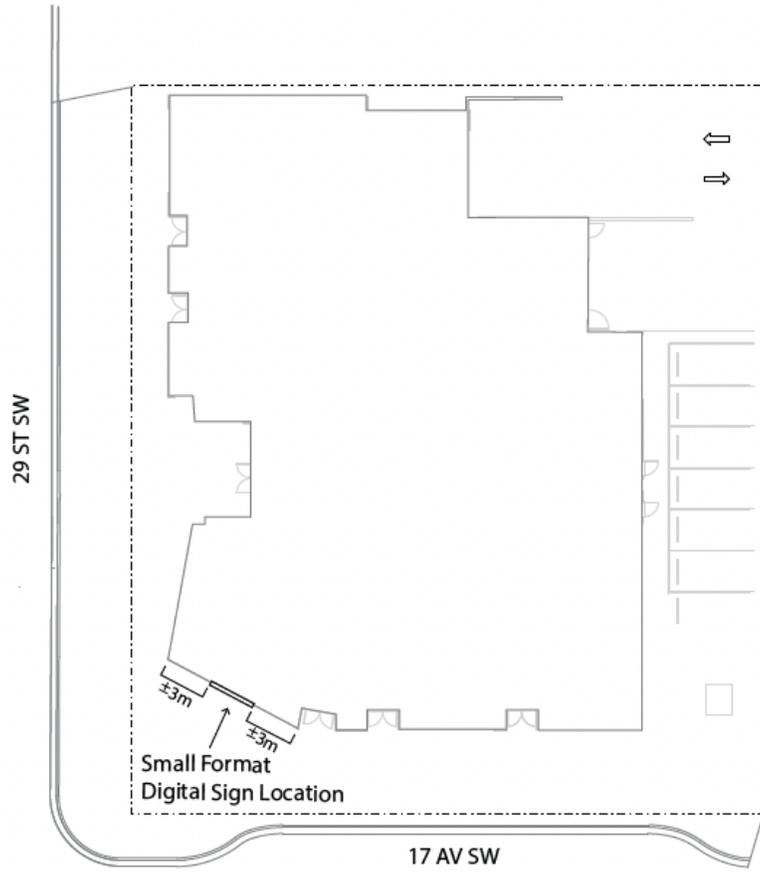
- 17 (1) Comprehensive plans must be submitted to the **Development Authority** as part of a **development permit** application for a **Small Format Digital Sign**. In considering such an application the **Development Authority** must ensure the **development** plans conform with the plans attached to this Direct Control District as Schedule "C".
- (2) A maximum of one **Small Format Digital Sign** may be located on a **parcel**.
- (3) The **digital display** of the **Small Format Digital Sign** must display a black screen between 10:00 pm and 7:00 am Mountain Daylight Time.
- (4) The electrical power supply to a **Small Format Digital Sign** must be concealed.
- (5) A **development permit** for a **Small Format Digital Sign** may only be issued for a period not exceeding three (3) years.
- (6) A **Small Format Digital Sign** must not interfere with information **signs** in road rights-of-way.
- (7) The Calgary Third Party Advertising Sign Guidelines do not apply to a **Small Format Digital Sign**.

Relaxations

18 The **Development Authority** may relax the rules contained in Sections 8 through 17 of this Direct Control District Bylaw in accordance with Sections 31 and 36 of Bylaw 1P2007.

SCHEDULE C

SITE PLAN



SOUTH ELEVATION

